

ORDINANCE NUMBER: 2023 - 50

AN ORDINANCE OF THE COUNTY OF ST. JOHNS, STATE OF FLORIDA, REZONING LANDS AS DESCRIBED HEREINAFTER FROM THE PRESENT ZONING CLASSIFICATION OF OPEN RURAL (OR), SINGLE FAMILY RESIDENTIAL DISTRICT (R-1-B), SINGLE FAMILY RESIDENTIAL DISTRICT (R-1-C), MULTIPLE FAMILY RESIDENTIAL DISTRICT (R-2), COMMERCIAL DISTRICT (R-3), AND RECREATIONAL DISTRICT (R-4) TO PLANNED UNIT DEVELOPMENT (PUD); MAKING FINDINGS OF FACT; REQUIRING RECORDATION; AND PROVIDING AN EFFECTIVE DATE.

NOW THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA:

WHEREAS, the development of the lands within this rezoning shall proceed in accordance with the application, dated January 18, 2023, in addition to supporting documents and statements from the applicant, **which are a part of Zoning File PUD 2023-02 Ponte Vedra Resort PUD**, as approved by the Board of County Commissioners, and incorporated by reference into and made part hereof this Ordinance. In the case of conflict between the application, the supporting documents, and the below described special provisions of this Ordinance, the below described provisions shall prevail.

SECTION 1. Upon consideration of the application, supporting documents, statements from the applicant, correspondence received by the Growth Management Department, recommendation of the Planning and Zoning Agency, and comments from the staff and the general public at the public hearing, the Board of County Commissioners, finds as follows:

1. The request for rezoning has been fully considered after public hearing with legal notice duly published as required by law.
2. The rezoning to **Planned Unit Development (PUD)** is consistent with the Comprehensive Plan, in that:
 - (a) The rezoning is compatible and complementary to conforming adjacent land uses. (Objective A.1.3.11)
 - (b) The rezoning encourages an efficient and compact land use pattern and supports balanced growth and economic development. (Objective A.1.11)
 - (c) The proposed project is consistent with the goals, policies and objectives of the 2025 St. Johns County Comprehensive Plan.
3. The rezoning to **Planned Unit Development (PUD)** is consistent with the St. Johns County Land Development Code.
4. The zone district of **Planned Unit Development (PUD)** is consistent with the land uses allowed in the land use designation of Commercial, Residential- B Coastal, and Residential-D Coastal, as depicted on the 2025 Future Land Use Map.

SECTION 2. Pursuant to this application **File Number PUD 2023-02** the zoning classification of the lands described within the attached legal description, **Exhibit "A"**,

is hereby changed to Planned Unit Development (PUD)

SECTION 3. The development of lands within the PUD shall proceed in accordance with the Master Development Plan Text, **Exhibit "B"** and the Master Development Plan Map, **Exhibit "C"**.

SECTION 4. To the extent that they do not conflict with the unique, specific and detailed provisions of this Ordinance, all provisions of the Land Development Code as such may be amended from time to time shall be applicable to development of property referenced herein except to the degree that development may qualify for vested rights in accordance with applicable ordinances and laws. Notwithstanding any provision of this Ordinance, no portion of any concurrency provision or impact fee ordinance, building code, Comprehensive Plan or any other non-Land Development Code ordinance or regulation shall be deemed waived or varied by any provision herein. Notwithstanding any provision of this Ordinance, no portion of any use restriction, title conditions, restriction or covenant shall be deemed waived or varied by any provision herein.

SECTION 5. It is the intent of the St. Johns County Board of County Commissioners that scrivener and typographic errors which do not change the tone or tenor of this Ordinance may be corrected during codification and may be authorized by the County Administrator or designee, without public hearing, by filing a corrected or recodified copy of the same with the Clerk of the Board.

SECTION 6. This Ordinance shall take effect upon receipt by the Secretary of State.

SECTION 7. This Ordinance shall be recorded in a book kept and maintained by the Clerk of the Board of County Commissioners of St. Johns County, Florida, in accordance with Section 125.68, Florida Statutes.

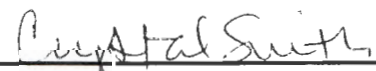
SECTION 8. Upon the effective date of this Ordinance, the zoning classification shall be recorded on the Zoning Atlas.

PASSED AND ENACTED BY THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA THIS 7TH DAY OF NOVEMBER, 2023.

**BOARD OF COUNTY COMMISSIONERS
OF ST. JOHNS COUNTY, FLORIDA**

BY: 
CHRISTIAN WHITEHURST, CHAIR

**ATTEST: BRANDON J. PATTY, CLERK OF THE
CIRCUIT COURT AND COMPTROLLER**

BY: 
Deputy Clerk

RENDITION DATE: NOV 08 2023

EFFECTIVE DATE: NOV 13 2023



EXHIBIT A

Legal Description of the PVIC Property

PARCEL 1

A PORTION OF SECTIONS 15 AND 22, TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD, A PUBLIC 66 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED, WITH THE NORTHERLY RIGHT OF WAY LINE OF MIRANDA ROAD, A PUBLIC 60 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE THE FOLLOWING 4 COURSES: COURSE 1, THENCE SOUTH 76°04'20" WEST, 147.00 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 760.00 FEET; COURSE 2, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 17°34'20", AN ARC LENGTH OF 233.09 FEET TO A POINT OF REVERSE CURVATURE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 67°17'10" WEST, 232.17 FEET; COURSE 3, THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 758.40 FEET, THROUGH A CENTRAL ANGLE OF 17°26'10", AN ARC LENGTH OF 230.79 FEET TO THE POINT OF TANGENCY OF SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 67°13'05" EAST, 229.90 FEET; COURSE 4, THENCE SOUTH 75°56'10" WEST, 67 FEET, MORE OR LESS, TO ITS INTERSECTION THE WESTERLY WATERS EDGE OF AN ARTIFICIAL LAKE, SAID WATERS EDGE ALSO BEING THE EASTERLY LINE OF BLOCK 46, AS DEPICTED ON PONTE VEDRA, A PLAT RECORDED IN MAP BOOK 5, PAGES 24 AND 25, OF THE PUBLIC RECORDS OF SAID ST. JOHNS COUNTY; THENCE NORTHWESTERLY, DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, ALONG SAID WESTERLY WATERS EDGE, AND ALONG SAID EASTERLY LINE OF BLOCK 46, A DISTANCE OF 2137 FEET MORE OR LESS, TO ITS INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF PABLO ROAD, A 60 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING 5 COURSES: COURSE 1, THENCE NORTH 44°47'30" EAST, 151 FEET, MORE OR LESS, TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 244.77 FEET; COURSE 2, THENCE EASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 58°45'46", AN ARC LENGTH OF 251.04 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 74°10'23" EAST, 240.18 FEET; COURSE 3, THENCE SOUTHEASTERLY ALONG THE ARC OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 200.00 FEET, THROUGH A CENTRAL ANGLE OF 33°25'11", AN ARC LENGTH OF 116.66 FEET TO THE POINT OF TANGENCY OF SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 53°12'13" EAST, 115.01 FEET; COURSE 4, THENCE SOUTH 36°29'37" EAST, 48.58 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 182.72 FEET; COURSE 5, THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 67°50'28", AN ARC LENGTH OF 216.35 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 70°24'51" EAST, 203.93 FEET; THENCE SOUTH 45°12'30" EAST, DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE, 1.87 FEET; THENCE NORTH 55°01'05" EAST, 4.77 FEET TO A POINT LYING ON SAID SOUTHERLY RIGHT OF WAY LINE, SAID POINT BEING A POINT ON A NON-TANGENT CURVE

CONCAVE NORTHWESTERLY HAVING A RADIUS OF 182.72 FEET; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE AND ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 37°53'27", AN ARC LENGTH OF 120.84 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 55°01'05" EAST, 118.65 FEET; THENCE NORTH 55°01'05" EAST, DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE AND ALONG A NON_TANGENT LINE, 48.89 FEET; THENCE NORTH 13°55'40" WEST, 26.17 FEET TO A POINT LYING ON SAID SOUTHERLY RIGHT OF WAY LINE; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING 4 COURSES: COURSE 1, THENCE NORTH 31°49'57" EAST, 20.70 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 135.00 FEET; COURSE 2, THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 44°14'23", AN ARC LENGTH OF 104.24 FEET TO THE POINT OF TANGENCY OF SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 53°57'08" EAST, 101.67 FEET; COURSE 3, THENCE NORTH 76°04'20" EAST, 77.98 FEET; COURSE 4, THENCE SOUTH 58°55'40" EAST, 28.29 FEET TO A POINT LYING ON SAID WESTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD; THENCE SOUTH 13°55'40" EAST, DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE AND ALONG SAID WESTERLY RIGHT OF WAY LINE, 1838.46 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT FROM THE ABOVE-DESCRIBED LANDS, LIFT STATION NO. 2, AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1700, PAGE 112, OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

PARCEL 2

A PORTION OF SECTIONS 15 AND 22, TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE SOUTHWESTERLY CORNER OF LOT 3, BLOCK 1, AS DEPICTED ON PONTE VEDRA, A PLAT RECORDED IN MAP BOOK 5, PAGE 6, OF THE PUBLIC RECORDS OF SAID ST. JOHNS COUNTY, SAID CORNER LYING ON THE EASTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD, A VARIABLE WIDTH RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE NORTH 13°55'40" WEST, ALONG SAID EASTERLY RIGHT OF WAY LINE, 2597.10 FEET TO THE SOUTHWESTERLY CORNER OF LOT 1, BLOCK 62, AS DEPICTED ON PONTE VEDRA, A PLAT RECORDED IN MAP BOOK 5, PAGE 48, OF SAID PUBLIC RECORDS; THENCE EASTERLY, DEPARTING SAID EASTERLY RIGHT OF WAY LINE, ALONG THE SOUTHERLY LINE OF LAST SAID LOT 1, AND ALONG THE ARC OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 212.88 FEET, THROUGH A CENTRAL ANGLE OF 21°00'11", AN ARC LENGTH OF 78.04 FEET TO A POINT OF COMPOUND CURVATURE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 86°35'00" EAST, 77.60 FEET; THENCE SOUTHEASTERLY, CONTINUING ALONG SAID SOUTHERLY LINE AND ALONG THE ARC OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 68.82 FEET, THROUGH A CENTRAL ANGLE OF 39°55'59", AN ARC LENGTH OF 47.96 FEET TO A POINT ON SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 62°56'30" EAST, 47.00 FEET; THENCE NORTH 76°04'20" EAST, CONTINUING ALONG SAID SOUTHERLY LINE AND ITS EASTERLY PROLONGATION, 213 FEET MORE OR LESS, TO THE WATERS OF THE ATLANTIC OCEAN; THENCE SOUTHEASTERLY ALONG SAID WATERS, 2242 FEET, MORE OR LESS, TO ITS INTERSECTION WITH THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF THE SOUTHERLY 10 FEET OF THAT CERTAIN ALLEY AS VACATED BY RESOLUTION RECORDED

IN OFFICIAL RECORDS BOOK 271, PAGE 607, OF SAID PUBLIC RECORDS; THENCE SOUTH 76°04'20" WEST, ALONG SAID EASTERLY PROLONGATION, 173 FEET, MORE OR LESS, TO A POINT LYING ON THE EASTERLY LINE OF SAID BLOCK 1, AS RECORDED IN MAP BOOK 5, PAGE 6; THENCE SOUTH 13°13'49" EAST, ALONG SAID EASTERLY LINE, 310.02 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 3, BLOCK 1; THENCE SOUTH 76°04'20" WEST, DEPARTING SAID EASTERLY LINE AND ALONG THE SOUTHERLY LINE OF SAID LOT 3, BLOCK 1, A DISTANCE OF 165.49 FEET TO THE POINT OF BEGINNING.

PARCEL 3

A PORTION OF SECTIONS 15 AND 22, TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF MIRANDA ROAD, A PUBLIC 60 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED, WITH THE WESTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD, A PUBLIC 100 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE SOUTH 13°55'40" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE, 320.00 FEET TO THE NORTHEAST CORNER OF LOT 4, BLOCK 3, AS DEPICTED ON PONTE VEDRA, A PLAT RECORDED IN MAP BOOK 5, PAGE 6, OF THE PUBLIC RECORDS OF SAID ST. JOHNS COUNTY; THENCE SOUTH 76°04'20" WEST, DEPARTING SAID WESTERLY RIGHT OF WAY LINE AND ALONG THE NORTHERLY LINE OF SAID LOT 4, A DISTANCE OF 183.16 FEET TO THE NORTHWEST CORNER THEREOF; THENCE SOUTH 12°02'02" EAST, ALONG THE WESTERLY LINE OF SAID LOT 4, A DISTANCE OF 98.01 FEET; THENCE SOUTH 78°36'49" WEST, DEPARTING SAID WESTERLY LINE, 448 FEET, MORE OR LESS, TO THE WESTERLY WATERS EDGE OF AN ARTIFICIAL LAKE, SAID WATERS EDGE ALSO BEING THE EASTERLY LINE OF BLOCK 41, AS DEPICTED ON PONTE VEDRA, A PLAT RECORDED IN MAP BOOK 6, PAGE 17, AND MAP BOOK 5, PAGE 24, BOTH OF SAID PUBLIC RECORDS; THENCE NORTHWESTERLY ALONG SAID WATERS EDGE AND ALONG SAID EASTERLY LINE OF BLOCK 41, A DISTANCE OF 329 FEET, MORE OR LESS, TO ITS INTERSECTION WITH SAID SOUTHERLY RIGHT OF WAY LINE OF MIRANDA ROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING 4 COURSES: COURSE 1, THENCE NORTH 75°56'10" EAST, DEPARTING SAID WATERS EDGE, 51 FEET, MORE OR LESS, TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 818.40 FEET; COURSE 2, THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 17°26'10", AN ARC LENGTH OF 249.05 FEET TO A POINT OF REVERSE CURVATURE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 67°13'05" EAST, 248.09 FEET; COURSE 3, THENCE NORTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 700.00 FEET, THROUGH A CENTRAL ANGLE OF 17°34'20", AN ARC LENGTH OF 214.69 FEET TO THE POINT OF TANGENCY OF SAID CURVE, SAID ARC BEING SUBTENDED BY CHORD BEARING AND DISTANCE OF NORTH 67°17'10" EAST, 213.85 FEET; THENCE NORTH 76°04'20" EAST, 113.00 FEET TO THE POINT OF BEGINNING.

PARCEL 4

A PORTION OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA, TOGETHER WITH ALL OF LOTS 3, 4 AND B, BLOCK 50, AS DEPICTED ON THE PLAT OF PONTE VEDRA, RECORDED IN MAP BOOK 5, PAGE 24, OF THE PUBLIC RECORDS OF SAID COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD, A 66 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED, WITH THE NORTHERLY RIGHT OF WAY LINE OF PABLO ROAD, A 60 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE SOUTHWESTERLY ALONG SAID NORTHERLY RIGHT OF WAY LINE THE FOLLOWING 5 COURSES: COURSE 1, THENCE SOUTH 31°04'20" WEST, 28.28 FEET; COURSE 2, THENCE SOUTH 76°04'20" WEST, 77.97 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 195.00 FEET; COURSE 3, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 44°14'20", AN ARC LENGTH OF 150.56 FEET TO THE POINT OF TANGENCY OF SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 53°57'08" WEST, 146.85 FEET; COURSE 4, THENCE SOUTH 31°49'57" WEST, 70.39 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 122.72 FEET; COURSE 5, THENCE WESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 106°29'33", AN ARC LENGTH OF 228.09 FEET TO THE SOUTHEASTERLY CORNER OF ADDITION TO LIFT STATION NO. 4, AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1486, PAGE 1550, OF SAID PUBLIC RECORDS, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 85°04'40" WEST, 196.65 FEET; THENCE NORTH 44°46'33" EAST, DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, ALONG THE SOUTHEASTERLY LINE OF SAID ADDITION TO LIFT STATION NO. 4, AND ALONG THE SOUTHEASTERLY LINE OF LIFT STATION NO. 4, AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 340, PAGE 535, OF SAID PUBLIC RECORDS, A DISTANCE OF 48.71 FEET TO THE NORTHEASTERLY CORNER OF SAID LIFT STATION NO. 4; THENCE NORTH 45°12'30" WEST, ALONG THE NORTHEASTERLY LINE OF LAST SAID LANDS, 30.00 FEET TO THE NORTHWESTERLY CORNER THEREOF; THENCE SOUTH 44°45'11" WEST, ALONG THE NORTHWESTERLY LINE OF SAID LIFT STATION NO. 4, A DISTANCE OF 19.99 FEET TO THE SOUTHWESTERLY CORNER THEREOF, SAID CORNER ALSO BEING THE NORTHWESTERLY CORNER OF SAID ADDITION TO LIFT STATION NO. 4; THENCE SOUTH 44°47'30" WEST, ALONG THE NORTHWESTERLY LINE OF SAID ADDITION TO LIFT STATION NO. 4, A DISTANCE OF 24.63 FEET TO A POINT LYING ON SAID NORTHERLY RIGHT OF WAY LINE OF PABLO ROAD; THENCE NORTH 36°29'37" WEST, ALONG SAID NORTHERLY RIGHT OF WAY LINE, 162.49 FEET; THENCE NORTH 45°12'30" WEST, CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE, 267.43 FEET TO A POINT LYING ON THE NORTHWESTERLY RIGHT OF WAY LINE OF PABLO DRIVE, A 30 FOOT RIGHT OF WAY AS PRESENTLY ESTABLISHED; THENCE SOUTHWESTERLY, DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE AND ALONG A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 287.52 FEET, THROUGH A CENTRAL ANGLE OF 32°15'20", AN ARC LENGTH OF 161.86 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 3, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 42°57'36" WEST, 159.74 FEET; THENCE NORTH 73°46'00" WEST, DEPARTING SAID NORTHWESTERLY RIGHT OF WAY LINE, ALONG THE SOUTHERLY LINE OF LOT 3 AND ALONG A NON-TANGENT LINE, 112 FEET, MORE OR LESS, TO ITS INTERSECTION THE EASTERLY WATERS EDGE OF AN ARTIFICIAL LAKE; THENCE NORTHWESTERLY, ALONG SAID EASTERLY WATERS EDGE, 2923 FEET, MORE OR LESS, TO ITS INTERSECTION WITH THE SOUTHERLY LINE OF LOT 1, BLOCK 59, AS DEPICTED ON THE PLAT OF PONTE VEDRA, RECORDED IN MAP BOOK 5, PAGE 32, OF SAID PUBLIC RECORDS; THENCE NORTH 76°04'20" EAST, DEPARTING SAID EASTERLY WATERS EDGE AND ALONG SAID SOUTHERLY LINE OF LOT 1, A DISTANCE OF 10 FEET, MORE OR LESS, TO THE SOUTHEASTERLY CORNER THEREOF, SAID CORNER LYING ON SAID WESTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD; THENCE SOUTH 13°55'40" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE, 2792.94 FEET TO THE POINT OF BEGINNING.

PARCEL 5

ALL OF TRACT B, BLOCK 50, AS DEPICTED ON THE PLAT OF PONTE VEDRA, RECORDED IN MAP BOOK 5, PAGE 24, OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

Legal Description of Lodge Property

PARCEL "A"

LOTS 8 AND 9, BLOCK 19, PONTE VEDRA AND A PART OF PALM VALLEY ROAD ALL ACCORDING TO MAP BOOK 5, PAGE 53 OF PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA; TOGETHER WITH A PART OF GOVERNMENT LOT 6, SECTION 27 AND PART OF THE PHILIP SOLANA GRANT, SECTION 43; ALL IN TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF BEGINNING COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF PONTE VEDRA BOULEVARD (COUNTY ROAD NO. 203) WITH THE NORTHERLY LINE OF SAID SOLANA GRANT; THENCE S. $13^{\circ}58'20''$ E., ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 42.38 FEET; THENCE N. $75^{\circ}45'10''$ E. A DISTANCE OF 140.40 FEET TO THE EASTERLY FACE OF THE CONCRETE BULKHEAD ON THE ATLANTIC OCEAN; THENCE N. $13^{\circ}56'00''$ W., ALONG SAID BULKHEAD, A DISTANCE OF 633.50 FEET TO THE NORTHEAST CORNER OF AFORESAID LOTS 8; THENCE S. $76^{\circ}01'40''$ W., ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 140.80 FEET TO THE NORTHWEST CORNER OF SAID LOT 8; THENCE S. $13^{\circ}58'20''$ E., ALONG THE EASTERLY RIGHT-OF-WAY LINE OF AFORESAID PONTE VEDRA BOULEVARD, A DISTANCE OF 591.78 FEET TO THE POINT OF BEGINNING.

PARCEL "A-1"

A PART OF GOVERNMENT LOT 6, SECTION 27 AND A PART OF THE PHILIP SOLANA GRANT, SECTION 43; ALL IN TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF PONTE VEDRA BOULEVARD (COUNTY ROAD NO. 203) WITH THE NORTHERLY LINE OF SAID SOLANA GRANT; THENCE S. $13^{\circ}58'20''$ E. ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 42.38 FEET; THENCE N. $75^{\circ}45'10''$ E. A DISTANCE OF 140.40 FEET TO THE EASTERLY FACE OF THE CONCRETE BULKHEAD ON THE ATLANTIC OCEAN AND POINT OF BEGINNING ; THENCE CONTINUE N. $75^{\circ}45'10''$ E. A DISTANCE OF 160 FEET MORE OR LESS TO THE MEAN HIGH WATER LINE OF THE ATLANTIC OCEAN; THENCE NORTHERLY ALONG SAID MEAN HIGH LINE A DISTANCE OF 630 FEET MORE OR LESS TO THE EASTERLY PROJECTION OF THE NORTH LINE OF LOT 8, BLOCK 19, PONTE VEDRA ACCORDING TO MAP BOOK 5, PAGE 53 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA; THENCE S. $76^{\circ}01'40''$ W., ALONG SAID EASTERLY PROJECTION, A DISTANCE OF 155 FEET MORE OR LESS TO CONCRETE BULKHEAD; THENCE S. $13^{\circ}56'00''$ E., ALONG SAID BULK HEAD, A DISTANCE OF 633.50 FEET TO THE POINT OF BEGINNING.

PARCEL "B"

A PART OF GOVERNMENT LOT 6, SECTION 27 AND A PART OF THE PHILIP SOLANA GRANT, SECTION 43, ALL IN TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF CORONA ROAD (FORMERLY PALM VALLEY ROAD), COUNTY ROAD NO. 210, AS NOW ESTABLISHED AS A 60 FOOT RIGHT-OF- WAY WITH THE WESTERLY RIGHT-OF-WAY LINE OF PONTE VEDRA BOULEVARD (COUNTY ROAD NO.203) AS NOW ESTABLISHED AS A 100 FOOT RIGHT-OF-WAY; THENCE S. 13°58'20" E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 271.61 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S.13°58'20" E. A DISTANCE OF 44.99 FEET TO THE NORTHERLY LINE OF THE AFOREMENTIONED SOLANA GRANT; THENCE N. 84°10'00" E., ALONG SAID GRANT LINE, A DISTANCE OF 34.35 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF THE 66 FOOT RIGHT- OF-WAY OF PONTE VEDRA BOULEVARD; THENCE S. 13°58'20" E., ALONG SAID WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 194.12 FEET; THENCE S. 76°01'40" W. A DISTANCE OF 35.00 FEET; THENCE S. 05°44'17" W. A DISTANCE OF 121.78 FEET; THENCE S. 44°46'26" W. A DISTANCE OF 50.15 FEET; THENCE N. 46°13'02" W. A DISTANCE OF 16.50 FEET; THENCE S. 43°46'58" W. A DISTANCE OF 64.00 FEET; THENCE S. 46°13'02" E. A DISTANCE OF 12.00 FEET; THENCE S. 43°46'58" W. A DISTANCE OF 21.91 FEET; THENCE S. 13°58'20" E. A DISTANCE OF 179.62 FEET; THENCE S. 76°01'40" W. A DISTANCE OF 14.00 FEET; THENCE S. 13°58'20" E. A DISTANCE OF 53.00 FEET TO A POINT ON THE SOUTHERLY LINE OF THE LANDS DESCRIBED IN PARCEL THREE OF OFFICIAL RECORDS 235, PAGE 737 OF THE PUBLIC RECORDS OF AFORESAID ST. JOHNS COUNTY; THENCE S. 76°01'40" W., ALONG SAID LINE, A DISTANCE OF 200.07 FEET TO THE CENTERLINE OF A 100 FOOT WIDE RIGHT- OF-WAY AND EASEMENT FOR DRAINAGE ACCORDING TO DEED BOOK 96, PAGE 303 OF THE AFORESAID PUBLIC RECORDS; THENCE N. 11°20'22" W., ALONG SAID CENTERLINE; A DISTANCE OF 664.14 FEET TO THE AFOREMENTIONED NORTH LINE OF THE PHILIP SOLANA GRANT; THENCE N. 84°10'00" E., ALONG SAID GRANT LINE, A DISTANCE OF 143 FEET MORE OR LESS TO THE FORMER EASTERLY EDGE OF THE WATERS OF THE GUANO RIVER MARSH; THENCE NORTHERLY ALONG THE EASTERLY EDGE A DISTANCE OF 21 FEET MORE OR LESS TO A POINT THAT BEARS S. 75°57'58" W. FROM THE POINT OF BEGINNING; THENCE N. 75°57'58" E. A DISTANCE OF 216.00 FEET MORE OR LESS TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE LIFT STATION PARCEL DESCRIBED IN EXHIBIT "A" OF OFFICIAL RECORDS 654, PAGE 1693 OF THE PUBLIC RECORDS OF AFORESAID ST. JOHNS COUNTY, SITUATED IN THE PHILIP SOLANA GRANT, SECTION 43, TOWNSHIP 3 SOUTH, RANGE 29 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE COMMENCE AT THE INTERSECTION OF THE NORTH LINE OF SAID SECTION 43 WITH THE WEST RIGHT-OF- WAY LINE OF PONTE VEDRA BOULEVARD (COUNTY ROAD NO. 203), A 66 FOOT RIGHT-OF-WAY AS NOW ESTABLISHED; THENCE S. 84°10'00" W., ALONG THE NORTH LINE OF SAID SECTION 43, A DISTANCE OF 34.35 FEET TO AN INTERSECTION WITH THE WEST LINE OF THE 100 FOOT RIGHT-OF-WAY OF PONTE VEDRA BOULEVARD; THENCE S. 13°58'20" E. A DISTANCE OF 1.01 FOOT TO THE POINT OF BEGINNING. THENCE CONTINUE S. 13°58'20" E. A DISTANCE 17.49 FEET; THENCE S. 29°00'34" E. A DISTANCE OF 13.41 FEET; THENCE N. 60°59'26" E. A DISTANCE OF 14.34 FEET; THENCE N. 76°01'36" E. A DISTANCE OF 15.67 FEET; THENCE N. 13°58'20" W., 1 FOOT WEST OF AND PARALLEL WITH THE WEST LINE OF THE AFORESAID 66 FOOT RIGHT-OF-WAY A DISTANCE OF 22.00 FEET; THENCE S. 84°10'00"

W., 1 FOOT SOUTH OF AND PARALLEL WITH THE AFORESAID NORTH LINE OF SECTION 43, A DISTANCE OF 33.34 FEET TO THE POINT OF BEGINNING.

PARCEL "C"

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS PURSUANT AND SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN THOSE INSTRUMENTS RECORDED IN OFFICIAL RECORDS BOOK 795, PAGE 172, AS MODIFIED BY OFFICIAL RECORDS BOOK 799, PAGE 1250, AND AS MODIFIED BY OFFICIAL RECORDS BOOK 1027, PAGE 79, ALL IN PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

A PART OF PHILIP SOLANA GRANT, SECTION 43, TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE, COMMENCE AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF CORONA ROAD (FORMERLY PALM VALLEY ROAD) COUNTY ROAD NO. 210 AS NOW ESTABLISHED AS A 60 FOOT RIGHT OF WAY WITH THE WESTERLY RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD (COUNTY ROAD NO. 203) AS NOW ESTABLISHED AS A 100 FOOT RIGHT OF WAY; THENCE S. 13°58'20" E., ALONG SAID WESTERLY LINE, A DISTANCE OF 316.60 FEET TO THE NORTHERLY LINE OF THE AFOREMENTIONED SOLANA GRANT; THENCE N. 84°10'00" E., ALONG SAID NORTHERLY LINE, A DISTANCE OF 34.35 FEET TO THE WESTERLY RIGHT OF WAY LINE OF THE 66 FOOT RIGHT OF WAY OF PONTE VEDRA BOULEVARD; THENCE S. 13°58'20" E., ALONG SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 194.12 FEET TO THE POINT OF BEGINNING; THENCE S. 76°01'40" W., A DISTANCE OF 35 FEET; THENCE S. 05°44'17" W., A DISTANCE OF 121.78 FEET; THENCE N. 44°46'26" E., A DISTANCE OF 57.73 FEET; THENCE S. 58°20'55" E., A DISTANCE OF 38.20 FEET TO AN INTERSECTION WITH THE AFORESAID WEST RIGHT OF WAY LINE OF PONTE VEDRA BOULEVARD (A 66 FOOT RIGHT OF WAY); THENCE N. 13°58'20" W., ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 112.00 FEET TO THE POINT OF BEGINNING.

PARCEL "D"

PORTION OF THE FOLLOWING DESCRIBED LANDS:

A PARCEL OF SUBMERGED LAND, COMPRISED OF AN ARTIFICIAL LAKE OR LAGOON, BEING A PORTION OF GOVERNMENT LOT 6, SECTION 27, TOWNSHIP 3 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA, LYING SOUTHERLY OF CORONA ROAD, EASTERLY OF LANDS OWNED BY JEA AND DESCRIBED ON PAGE 142 OF THAT CERTAIN CORPORATE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1700, PAGE 112 AND THAT LIES WESTERLY OF THE LANDS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 795, PAGE 165, OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.



Ponte Vedra Inn & Club



The Lodge & Club

Ponte Vedra Resorts
Planned Unit Development

EXHIBIT "B"
Master Development Plan Text





Ponte Vedra Inn & Club



The Lodge & Club



Owners

The Ponte Vedra Inn & Club Property

Ponte Vedra Corporation

The Lodge & Club Ponte Vedra Beach Property

The Lodge at PVB, Ltd.

Marsh Landing Bath & Health Club, Ltd.



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LIST OF EXHIBITS

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Project History – Ponte Vedra Resorts

The Ponte Vedra Inn & Club and The Lodge & Club Ponte Vedra Beach are two oceanfront resorts located in Ponte Vedra Beach. Both facilities are owned and operated by GATE Petroleum Company (through subsidiary organizations).

Ponte Vedra Inn & Club

The Ponte Vedra Inn & Club (the "Inn & Club" or "PVIC") was founded in 1928 and has served residents and visitors to Ponte Vedra Beach for more than 90 years. The Inn & Club is the only AAA Five Diamond resort in St. Johns County, providing lodging, restaurants, golf, tennis, spa and other recreational facilities on an oceanfront campus. The resort also includes ballroom and meeting space for special events and corporate retreats.

More than 100,000 visitors stay in the luxurious lodging facilities at the Inn & Club each year, providing more than \$1.2 million in bed taxes. The resort contributes nearly \$1.5 million in property taxes and almost \$6 million in sales tax, totaling more than \$8.6 million in tax revenue to St. Johns County annually. In addition, many residents of Ponte Vedra Beach and other parts of St. Johns County and surrounding areas are members of the Inn & Club, enjoying recreational, fitness and beach experiences. The Inn & Club employs nearly 1,000 people during peak season, with an annual payroll of more than \$28 million.

The Lodge & Club

Continuing the tradition of excellence, The Lodge & Club Ponte Vedra Beach (the "Lodge") is a AAA Four Diamond resort located just south of the Inn & Club along Ponte Vedra Boulevard. The Lodge has charmed guests with elevated amenities and top-quality service since its debut in 1989. The Lodge includes guest rooms and suites, restaurants, lounges, recreational amenities and other services on its oceanfront campus. The Lodge also provides membership opportunities for area residents to participate in recreational, fitness and beach experiences.

More than 31,500 visitors stay in the Lodge each year, providing approximately \$400,000 in bed taxes. The resort contributes nearly \$300,000 in property taxes and more than \$1.5 million in sales-tax, totaling more than \$2.2 million in tax revenue to the County each year. The Lodge employs more than 150 people, with an annual payroll of nearly \$6 million.

Bringing the Resorts into the Future

To prepare for the centennial celebration of the Inn & Club and to enhance the guest and member experiences at both properties, GATE and its subsidiaries (collectively, the "Owner"), which own the Inn & Club and the Lodge (collectively, the "Resorts"), would like to enhance its lodging and recreational facilities to ensure their sustainability and resiliency for years to come. The Resorts will continue to contain no residential units.



A. Project Overview

This application relates to two properties with common ownership by the Owner and operated in similar manners, as follows:

1. The portion of the Inn & Club property subject to this PUD is owned by Ponte Vedra Corporation (the "**PVIC Property**"). The PVIC Property contains approximately 80 acres and is described in Exhibit "A" to this application.
2. The Lodge property is owned by The Lodge at PVB, Ltd. and Marsh Landing Bath & Health Club, Ltd. (the "**Lodge Property**"). The Lodge Property contains approximately 10.5 acres and is described in Exhibit "A" to this application.

The PVIC Property and the Lodge Property are sometimes collectively referred to herein as the "**Properties**". Because development standards for the PVIC Property and the Lodge Property are very similar, this PUD text presents such standards in combination except for where there are different requirements for each property.

1. **PVIC Property.** The PVIC Property has Future Land Use Map ("**FLUM**") designations of Commercial, Residential D and Residential B. The existing uses within the PVIC Property are consistent with the FLUM designations of the various parcels that comprise the PVIC Property. The PVIC Property is currently zoned R-1-B, R-2, R-3 and R-4 on the Ponte Vedra Zoning Map. The existing uses within the PVIC Property are consistent with its zoning designations.

This application requests to rezone the PVIC Property from R-1-B, R-2, R-3 and R-4 to Planned Unit Development ("**PUD**"). The uses permitted on the PVIC Property pursuant to the PUD are the same as those allowed on the site today, meaning resort guest rooms and resort space.

The PVIC Property is surrounded on the north by the Inn & Club golf course owned by Ponte Vedra Corporation and single-family residences, on the east by the Atlantic Ocean, on the west by a lagoon owned by Ponte Vedra Corporation and single-family homes, and on the south by the Inn & Club spa and golf course owned by Ponte Vedra Corporation and one single-family residence.

2. **Lodge Property.** The Lodge Property has FLUM designations of Commercial, Residential D and Residential B. The existing uses within the Lodge Property are consistent with the FLUM designations of the parcels that comprise the Lodge Property. The Lodge Property has existing R-3, R-2, R-1-C and Open Rural ("**OR**") zoning designations on the Ponte Vedra Zoning Map and the St. Johns County Zoning Map (for the OR-zoned parcel). The existing uses within the Lodge Property are consistent with its zoning designations.

This application requests to rezone the Lodge Property from R-3, R-2, R-1-C and OR to PUD. The uses permitted within the Lodge Property pursuant to the PUD are the same as those allowed on the site today, including resort guest rooms and resort space.



The Lodge Property is bordered on the north by the Ponte Vedra Carlyle condominiums and then single-family homes, on the west by a lagoon owned by Ponte Vedra Corporation and then single-family residences, on the south by the parking lot for the Sawgrass Marriott beach resort and on the east by a condominium building and the Atlantic Ocean.

The purpose of the PUD is to allow GATE and its affiliates to redevelop its lodging, restaurant, recreational, commercial and office facilities within the PVIC Property and the Lodge Property over time, to create more resilient and sustainable facilities that are less susceptible to damage or destruction from storms, and to provide an enhanced experience to guests and members (the "**Project**"). The Inn & Club and the Lodge are operated in coordination by the Owner as part of a master planned resort. Because of the unique character of the Project and the placement of existing buildings and other improvements within the Resorts, it is necessary in some areas to seek waivers from some provisions of the St. Johns County Land Development Code (the "**Code**" or "**LDC**") and Ponte Vedra Zoning District Regulations (the "**PV Code**") in order to achieve the redevelopment plan described above.

B. Total Number of Acres

The PVIC Property includes approximately 80 acres. The Lodge Property includes approximately 10.5 acres. The total area within the Properties is approximately 90.5 acres.

C. Total Number of Wetland Acres

There are no wetlands located within either the PVIC Property or the Lodge Property.

D. Development Area & Land Use

1. **PVIC Property.** There are approximately 80 acres within the PVIC Property. Consistent with current operations, buildings within the PVIC Property will be redeveloped with a mixture of lodging, restaurants and bars, fitness amenities, golf clubhouse, ballroom and meeting space, retail and office space to serve the resort, commercial recreational facilities, and other related facilities. A Master Development Plan map (the "**MDP**" or "**MDP Map**") depicting the proposed locations of the various uses within the PVIC Property is attached as **Exhibit "C"**. No redevelopment is proposed within lagoon and golf course areas.

2. **Lodge Property.** There are approximately 10.5 acres within the Lodge Property. Buildings within the Lodge Property will be redeveloped with a mixture of lodging, restaurants and bars, fitness amenities, meeting space, retail and office space to serve the resort, commercial recreational facilities, and other related facilities. A Master Development Plan depicting the proposed locations of the various uses within the Lodge Property is attached as **Exhibit "C"**. No redevelopment is proposed within lagoon and golf course areas.



E. Residential Uses and Density

Neither the PVIC Property nor the Lodge Property contains any permanent residential uses. Seasonal residents may utilize Project hotel rooms and short-term rentals.

F. Non-Residential Uses and Intensity

The Resorts may be developed with the following non-residential uses and maximum intensities:

TABLE F.1 NON-RESIDENTIAL USES AND INTENSITY	
Use	Maximum Intensity ⁽¹⁾
1. <u>Ponte Vedra Inn & Club</u>	
Resort guest/hotel rooms	349 rooms ^{(2), (3)}
Resort space (restaurants, bars, indoor recreation, etc.)	595,000 square feet
2. <u>The Lodge & Club</u>	
Resort guest/hotel rooms	86 rooms
Resort space (restaurants, bars, indoor recreation, etc.)	70,000 square feet

(1) Maximum Intensity includes the existing and proposed resort guest rooms and resort space within the PVIC Property and the Lodge Property, respectively. Existing buildings will be removed and replaced with new facilities, over time.

(2) Hotel rooms include both rooms and suites. The term "room" is as defined in Article XII of the 2023 St. Johns County Land Development Code.

(3) The single-family homes located at 301, 303 and 305 Ponte Vedra Boulevard and at 1 Pablo Drive shall continue to be permitted to house resort guests and be used as short-term rentals, per LDC Section 2.02.04.B.19. Stand-alone resort guest cottages shall be permitted at 2 and 4 Pablo Drive, for use as short-term rentals. Each single-family home and guest cottage located at 301, 303 and 305 Ponte Vedra Boulevard and at 1, 2 and 4 Pablo Drive will be rented as single units.

Consistent with current offerings, the Resorts also include outdoor recreational facilities such as tennis courts, pickleball courts, golf courses, swimming pools, event lawns, greens, and other outdoor amenities that will not count against the above-referenced indoor recreational facility square footage. Patios, decks, shade structures without walls, golf putting and driving platforms and other outdoor spaces and improvements shall not count against the above-referenced retail, restaurant, bar or meeting space development rights, provided that the aforementioned areas and improvements do not include outdoor dining/seating areas, roof-top bars or entertainment/service areas. Parking garages/structures also shall not count against the resort space development



rights. No parking garages/structures will be located on the east side of Ponte Vedra Boulevard, except for the parking structure included within the existing Lodge building at 607 Ponte Vedra Boulevard (Parcel Identification No. 056230-0000), which may be reconstructed in the event of a natural or other disaster.

The Project will encourage a pedestrian-oriented environment through building placement, an integrated driveway network, pedestrian connections, open spaces and outdoor amenities. Various non-residential uses shall be permitted to be integrated within the same structure (e.g., lodging rooms in the same building with restaurant and bar uses or resort fitness uses). The golf course driving range area, as depicted on the MDP Map, shall be permitted to include shade structures without walls, golf putting and driving platforms and other golf-related improvements that are not contained within buildings. Greens and event lawns, including but not limited to the 150-foot-wide green space/lawn depicted on the MDP Map, **Exhibit "C"**, pages MDP 04 and 05, shall be permitted to include temporary events such as weddings, receptions and other outdoor events.

Restaurants, bars, outdoor cafés (including beachside cafés), retail shops, events held at ballrooms, meeting rooms and other space within the Properties, outdoor events, and golf course facilities within the Project shall be permitted to sell alcoholic beverages for on-premises and off-premises consumption. Because the Owner owns land east (waterward) of the bulkhead adjacent to the Ponte Vedra Inn & Club complex and the Lodge Property, which facilities include beachfront restaurants, bars and outdoor cafes, the Resorts shall be permitted to serve alcoholic beverages within their beach ownership (approximately 170 feet eastward of the bulkheads), in the locations labeled "Beach Service Areas" and depicted on the MDP Map, **Exhibit "C"**. Resort employees shall be required to clean up any refuse left by guests within the Beach Service Areas. Resort guests shall be prohibited from consuming alcoholic beverages not purchased from the Resorts eastward of the bulkheads within the Properties (e.g., on the beach). The sale of alcoholic beverages for on-premises and off-premises consumption shall not be subject to distance separation requirements prescribed in LDC Section 2.03.03 for places of worship and schools. See **Section T**, Waiver 19. Restaurants and sidewalk cafes may be located within Project public spaces, including along the oceanfront.

Sidewalk and oceanfront cafés will be permitted within the Properties. For the purposes of this Project, a sidewalk café is a group of tables and chairs and permitted decorative and accessory devices situated and maintained upon the sidewalk and used for the consumption of food and beverages. A clear path shall be provided for the comfortable movement of pedestrians. The path shall be as allowed by the St. Johns County Fire Department pursuant to applicable local, state and federal requirements. Tables, chairs, umbrellas, awnings and any other objects provided within a sidewalk café shall be maintained in a clean and attractive manner and shall be in good repair at all times, ensuring a tidy appearance. Sidewalks in areas where sidewalk cafes will be located will be a width appropriate to allow the above-referenced clear path, but in no event shall any clear path be less than four (4) feet in width. Where such sidewalks abut curbs, a minimum six (6)-foot-wide sidewalk will be required. The MDP Map, **Exhibit "C"**, includes future development areas that will be subject to Incremental Master Development Plan Maps ("**IMDPs**") at the time each area within the Properties is submitted for construction plan approval. Sidewalk locations and other details regarding pedestrian access will be provided at construction plan and IMDP submittal and will comply with this PUD text.



The Resorts may include kiosks/movable carts/vehicles for the sales of food, beverages and merchandise; and seasonal sales of merchandise (see MDP Section P for limitations on these temporary uses and **Section T**, Waiver 18). Cooking equipment used in fixed, mobile or temporary concessions such as trucks, buses, pavilions, tents, or any form of roofed enclosure shall comply with NFPA 96 (Standard for Ventilation Control and Fire Protection of Commercial Cooking Operations) or NFPA 1.

G. Design Criteria

The non-residential uses and square footage identified in Section F may be allocated throughout the Properties in accordance with the allowable uses and development standards listed in Table G.1 below:

TABLE G.1 SCHEDULE OF AREA, HEIGHT, BULK, AND PLACEMENT STANDARDS						
Land Use	Min. Lot Width	Min. Lot Area	Impervious Surface Ratio ^{(1),(7)}	Max. Lot Coverage by Buildings ⁽²⁾ , ⁽⁶⁾	Min. Yard Requirements Front / Side / Rear ⁽³⁾⁽⁴⁾	Max. Height of Structures
Non-Residential	None	None	70%/75%	70%	<p><u>Side</u> - 10 feet⁽⁴⁾ on the PVIC Property and the Lodge Property</p> <p><u>Rear</u>- 5 feet on the PVIC Property and the Lodge Property</p> <p><u>Front</u>:</p> <p>a. Lodge Property – 10 feet</p> <p>b. PVIC Property:</p> <p>i. Surf Club – 5 feet</p> <p>ii. Resort space buildings (including buildings containing resort space and resort rooms) and resort room buildings west of Ponte Vedra Boulevard (containing resort rooms only),</p>	See Building Height Zones Maps included in Exhibit "C", MDP 06 and MDP 10 ⁽⁵⁾



					excluding the Ponte Vedra Inn (200 Ponte Vedra Boulevard) – 10 feet iii. Resort room buildings east of Ponte Vedra Boulevard (containing resort rooms only) – 20 feet iv. Parking decks/structures – 10 feet v. Ponte Vedra Inn (200 Ponte Vedra Boulevard) – 40 feet vi. 1, 2 and 4 Pablo Drive – 35 feet vii. 301, 303 and 305 Ponte Vedra Boulevard – 20 feet
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(1) Impervious surface ratio ("ISR") for areas within the Properties (including within areas of the Properties divided by public rights-of-way) shall not exceed that allowed in applicable future land use designations in the St. Johns County Comprehensive Plan, as monitored through Incremental MDPs. See **Section T**, Waiver 4.

(2) Maximum lot coverage by buildings shall be measured for the entire Properties, as monitored through Incremental MDPs. See **Section T**, Waiver 4.

(3) For the purposes of this PUD, all proposed yard setbacks are for buildings adjacent to the Properties' external boundaries. No setbacks shall be required between buildings internal to the PUD. See **Section T**, Waiver 9. Landscaping, parking areas, sidewalks and other non-structural improvements shall be permitted within front yard setbacks. Notwithstanding the foregoing, any new buildings within the Properties shall have a minimum separation of 20 feet.

(4) The side yard on the south side of the parcel located at 305 Ponte Vedra Boulevard, which has Parcel Identification No. 055090-0000, shall be a minimum of 20 feet if the existing home located on this parcel is demolished and is replaced with a resort use.

(5) Building heights within the Properties will be subject to the Building Height Zones Maps attached to this application as **Exhibit "C"**, Master Development Plan pages MDP 06 and MDP 10. The height of the Sport Club building within the PVIC Property, located within Height Zone 3, shall be permitted to be a maximum of 54 feet. The top of the guardrail of the parking deck for the PVIC Property Sport Club building will not exceed 38 feet. The height of the Sports/Resort/Hotel building within the Lodge Property, located within Height Zone 1, shall be permitted to be 55 feet. For the parking garage associated with the Lodge Property Sports/Resort/Hotel building, the top of the parking deck guardrail will not exceed 38 feet, with the elevator/stair towers and architectural features permitted to a height of 55 feet. Any redevelopment of the oceanfront Lodge building at 607 Ponte Vedra Boulevard will be no taller than the building height depicted in **Exhibit "C"**, page MDP 11. Any redevelopment of the Ponte Vedra Inn at 200 Ponte Vedra Boulevard will be no taller than



the building height depicted in **Exhibit "C"**, page MDP 12. If a parking structure is located on the parcel at 302 Ponte Vedra Boulevard (Parcel Identification No. 050910-0000), such structure can only contain one tray/deck of parking over spaces on the ground floor of such structure. See **Section T**, Waivers 1 and 23.

(6) The Project will comply with the intensity requirements of the applicable Comprehensive Plan future land use designation areas within the Properties.

(7) Maximum permissible floor area ratio ("**FAR**") for areas within the Properties (including with area of the Properties divided by public rights-of-way), in their entirety, shall not exceed 0.5. All parking structure floors are to be calculated within the FAR for the Properties. FAR will be monitored through incremental MDPs. ISR and FAR shall be measured within the Properties, including within areas of the Properties divided by public rights-of-way. For the purposes of Comprehensive Plan Policy A.1.11.3, the Properties shall be considered the Lot for this PUD. ISR shall be calculated as defined in the Code. FAR shall be calculated by dividing the gross floor area of the building(s) by the net developable area within the Properties. For the purposes of this PUD, net developable area shall be all of land within the Properties, except for the lagoons depicted on the MDP Map.

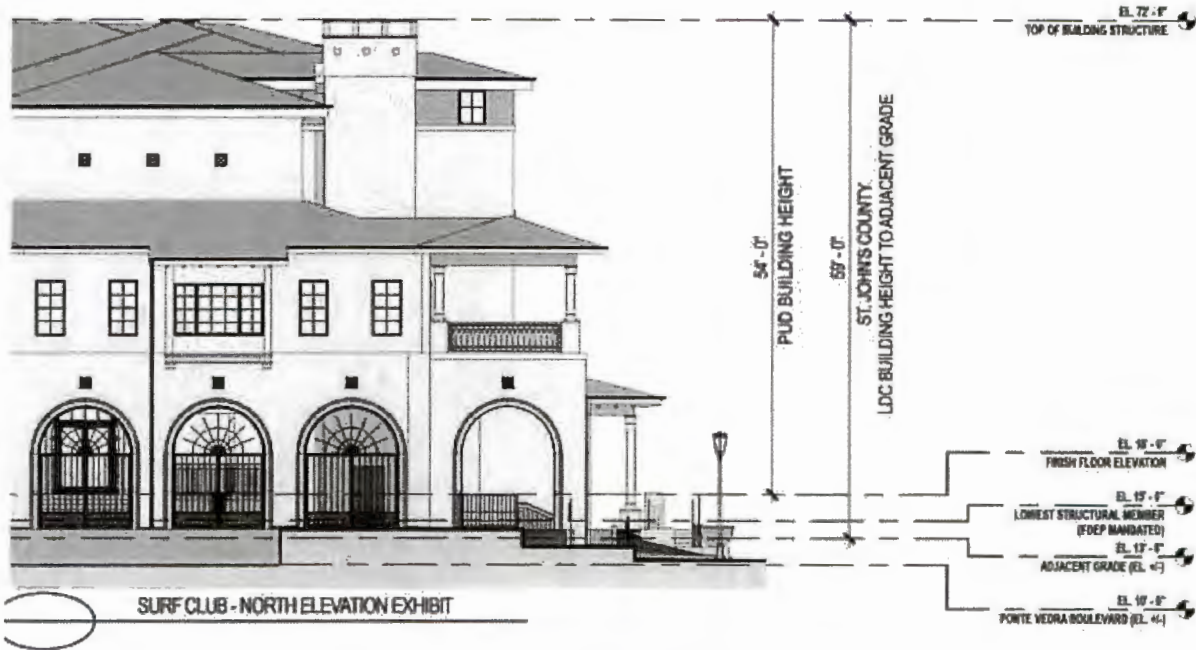
For the purposes of this PUD, the term "**Building Height**" shall be defined as the vertical distance measured from the minimum finished floor elevation required collectively by the Federal Emergency Management Agency ("**FEMA**"), St. Johns County and the Florida Department of Environmental Protection ("**FDEP**") "100-Year Storm Elevation Site-Specific Determination" (the "**Site Specific Determination**") conducted for each building within the Properties, to the highest portion of the applicable building (including roof, chimney and other mechanical structures).

Below finished floor elevation, the depth of a structural foundation is determined by the Florida Building Code. The bottom of the structural foundation is considered the lowest structural member (as defined by FDEP and St. Johns County regulations). The lowest structural member for buildings located east of Ponte Vedra Boulevard shall be at the highest elevation required by either FEMA, St. Johns County or FDEP. Should the highest elevation exceed the St. Johns County Code requirement by more than six (6) feet, any difference in height above the six (6) feet will be reduced from the total Building Height (for example, if the most restrictive elevation is eight (8) feet above St. Johns County Code requirement, two (2) feet will be reduced from the total Building Height). The structural foundation of each building shall be designed to be three (3) feet from the lowest structural member to the finished floor elevation, unless required by the Florida Building Code or St. Johns County regulations to be more than three (3) feet. The six (6)-foot differential detailed above shall not apply to buildings located outside of the FEMA velocity flood zone. Building Height shall be measured in feet, not in stories. See **Section T**, Waiver 23.

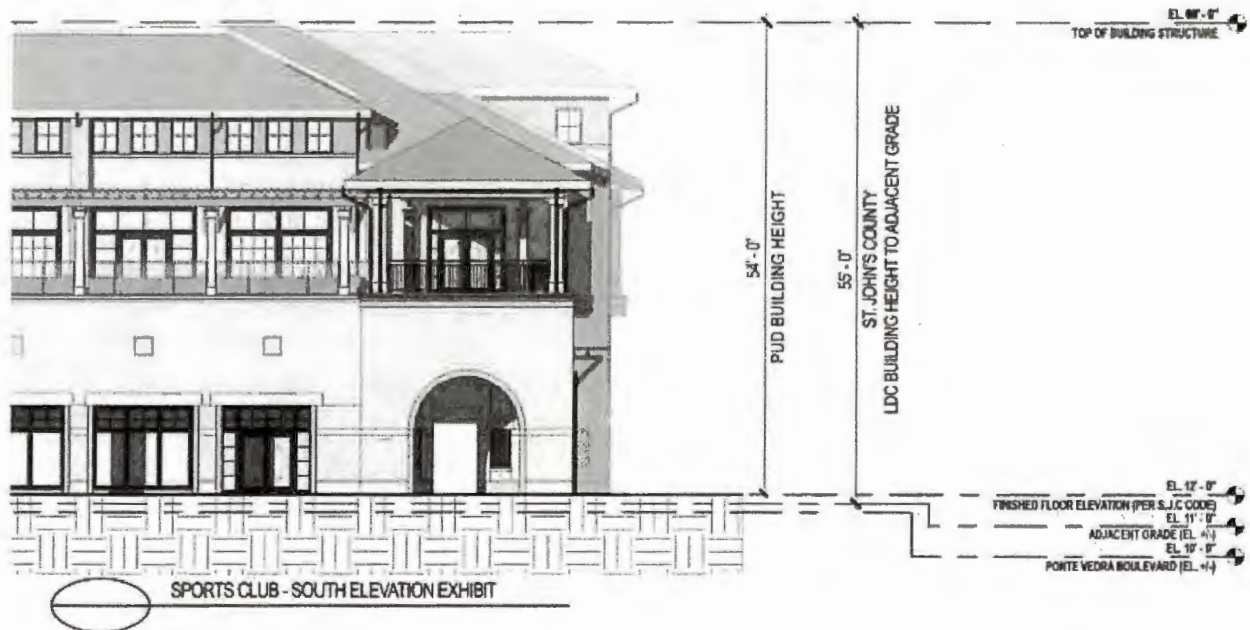
The following are depictions of how Building Height will be measured within the Properties:



East of Ponte Vedra Boulevard:



West of Ponte Vedra Boulevard:





Nearby single-family residential uses (owned by others and not located within the Project) are separated from buildings within the Properties by the existing lagoon and golf course, except for two homes located adjacent to the PVIC Property (one to the north and one to the south). Building heights within the Lodge Property are consistent with the adjacent Carlyle condominium building on the adjacent parcel.

Existing buildings within the Properties are considered legally non-conforming structures for the purposes of this PUD for setbacks/yards, buffers and other requirements of the Code and PV Code. Existing buildings within the Properties shall be permitted to remain under this PUD because they are legal, non-conforming structures. New buildings will be required to meet applicable requirements of this PUD and the Comprehensive Plan.

Existing uses within buildings located on the Properties shall be permitted to remain under this PUD because they are legal, non-conforming uses. Any reconstruction of existing resort room buildings in Residential B future land use areas can continue to include the existing uses so long as the footprints and number of resort rooms within such buildings are not expanded. Any reconstruction or expansion of existing buildings containing either resort rooms or resort space in future land use areas that permit resort rooms or resort space shall not be limited to their existing footprints.

Buildings within the Project (existing and new) shall be permitted to exceed 10,000 square feet per acre. See **Section T**, Waiver 7. Maximum square footage per acre within the Properties will be determined by the applicable future land use designation.

Buildings within the Project (existing and proposed) shall be permitted to be longer than 120 feet parallel to, or within 45 degrees parallel to, Ponte Vedra Boulevard in order to allow redevelopment of the Resorts, with proposed building lengths as follows (See **Section T**, Waiver 8):



Maximum building lengths within the Properties shall be permitted as follows:

TABLE G.2 MAXIMUM BUILDING LENGTHS			
Location	Building Use Type	Maximum Existing Building Length	Maximum Proposed Building Lengths for New Buildings
PVIC Property East of Ponte Vedra Boulevard	Resort Rooms Only	289 Feet	289 Feet
PVIC Property East of Ponte Vedra Boulevard	Resort Space/Rooms Combined or Resort Space Only	349 Feet	365 Feet
PVIC Property West of Ponte Vedra Boulevard	Resort Rooms Only	131 Feet	131 Feet
PVIC Property West of Ponte Vedra Boulevard	Resort Space/Rooms Combined or Resort Space Only	376 Feet	376 Feet
PVIC Property West of Ponte Vedra Boulevard	Resort Space Only	N/A	416 Feet
Lodge Property East of Ponte Vedra Boulevard	Resort Space/Rooms Combined	568 Feet	568 Feet
Lodge Property West of Ponte Vedra Boulevard	Resort Space/Rooms Combined	91 Feet	256 Feet



The building square footage and length within the Properties are offset by the preservation of large areas of open space within the Resorts overall, including golf course, lagoons, beaches and other open areas.

All development within the Project will comply with all the requirements of LDC Part 3.03.00 regarding flood damage control regulations. The proposed stormwater systems shall be in compliance with the Code and other applicable public agency regulations.

Related to building separation, several existing structures are separated by less than 20 feet and shall continue to be permitted as legal non-conforming structures and uses (including those buildings subject to previous zoning and non-zoning variance approvals), subject to the provisions of adequate fire protection. Any new buildings shall have a minimum separation of 20 feet between structures. See **Section T**, Waiver 10. The Owner will provide a 50-foot separation between the southernmost portion of Carlyle condominium building located at 600 Ponte Vedra Boulevard and the northernmost portion of the Sports/Resort/Hotel building and associated parking garage on the portion the Lodge Property located at 608 Ponte Vedra Boulevard (pool equipment mechanical area and enclosures may be located within the 50-foot separation no closer than ten (10) feet from the property line).

A minimum five (5)-foot setback will be provided between the parking for the non-residential development and adjacent road rights-of-way. The Owner will continue to install and maintain landscaping within adjacent Ponte Vedra Boulevard right-of-way to provide a visual enhancement between roads and project parking areas. All parking and vehicular use areas shall include landscape buffers and plantings as required by applicable Code and PUD provisions.

G.1 Parking

Parking may be provided off-street within the Project, provided that the Owner shall be permitted to have guest drop-off areas within the right-of-way of Ponte Vedra Boulevard outside of the travel lanes. Parking (both permanent and temporary) will be provided via surface parking or parking garage(s)/structure(s). No parking garage/structure will be located on the east side of Ponte Vedra Boulevard, except for the parking structure included within the existing Lodge building at 607 Ponte Vedra Boulevard (Parcel Identification No. 056230-0000), which may be reconstructed in the event of a natural or other disaster. The MDP Map, **Exhibit "C"**, includes future development areas that will be subject to IMDPs at the time each area within the Properties is submitted for construction plan approval. Parking garage design will comply with the requirements in this Section G.1 and shall be addressed in IMDPs. Valet parking shall be permitted within the Project, including within designated guest drop-off areas located within public rights-of-way outside of road travel lanes, bike lanes and sidewalks. The number of parking spaces within the Properties shall be provided in accordance with applicable provisions of the Ponte Vedra Zoning District Regulations and the St. Johns County Land Development Code. The Owner shall be permitted to allow shared parking among parcels within the PVIC Property and the Lodge Property, respectively. Parking space sizes will comply with applicable Code provisions, except as provided in **Section T**, Waivers 14 and 21. Any new parking garage structures will be screened with landscaping and/or architectural treatments



in areas where they are not wrapped by or located within ten (10) feet of another building within the Project. Existing remote off-site parking approvals for both Properties shall remain and are transferrable with this PUD rezoning. See **Section T**, Waivers 14 and 21.

G.2 Lighting

Existing lighting within the Properties shall be permitted to remain. See **Section T**, Waiver 13. New Project lighting will comply with applicable provisions of LDC Sections 4.01.08, 4.01.09, 5.03.06.H.6 and 6.09.00. Lighting shall be designed and installed so as to be directed downward and reflect back to the Properties to prevent glare and /or excessive light onto surrounding property. Pole fixtures shall be flush mounted, with full cut-offs. Any light fixtures mounted on canopies shall be recessed so that the lens cover is flush with the bottom surface (ceiling) of the canopy. Lighting is not required on all canopies (turtle lighting).

G.3 Incremental MDPs

Because redevelopment of the Project will occur over time, IMDPs will be submitted for individual portions of the Properties in conjunction with corresponding construction plans See **Section T**, Waiver 20. These IMDP maps must demonstrate compliance with all sections of this MDP text and the Comprehensive Plan through tracking tables. IMDPs shall depict site access locations for pedestrians and vehicles. Each IMDP shall include a notation that building locations are general and subject to final construction plan approval.

G.4 Architectural Design

Buildings within the Project will include similar colors and materials, signage and architectural style to provide a high-end aesthetic consistent with the character and charm of the Ponte Vedra community. Roof lines may be flat, or appear to be flat, as long as such roof lines fit into the overall architecture of the Resorts and there is façade relief so that there is no appearance of flat roofs from the ground. See **Section T**, Waiver 5. Architectural styles, colors and materials for the proposed new buildings within the PVIC Property and the Lodge Property (the "**Architectural Styles, Colors and Materials**") are attached hereto as **Exhibit "D"**. The Ponte Vedra Architectural Review Committee ("**PVARC**") has approved the architecture for the new Sports and Surf clubs as well as the Oceanfront resort room buildings, all within the PVIC Property. The architecture for all other new buildings within the Properties and any substantive changes which materially alter the character, design or commonly observed appearance of the PVIC Sports Club, Surf Club or Oceanfront resort building will be subject to review and approval by PVARC to determine conformance with the Architectural Styles, Colors and Materials Plans attached as **Exhibit "D"**, the PV Code and the parameters approved for Project development in this PUD ordinance.

G.5 Signage

The Project will be subject to the Unified Sign Plans ("**USP**") attached hereto as **Exhibit "E"**. Any new signage within the Properties will be subject to review and approval by



PVARC to determine conformance with the USP, **Exhibit "E"** and the PV Code. See **Section T**, Waivers 15, 16 and 17.

H. Infrastructure

H.1 Drainage Facilities

A master stormwater management system for the Properties exists at present and is maintained by the Owner. The stormwater management system has been permitted by St. Johns County and the St. Johns River Water Management District ("**SJRWMD**") in the past and is considered legally vested. Modifications will be as required by the County and SJRWMD.

H.2 Vehicular Access

Primary vehicular access to the PVIC Property will be provided via the existing Ponte Vedra Boulevard, Miranda Road and Pablo Road, in the locations depicted on the MDP Map, **Exhibit "C"**. Primary vehicular access to the Lodge Property will be provided via the existing Ponte Vedra Boulevard and Corona Road, in the locations depicted on the MDP Map. See **Section T**, Waiver 25. Small adjustments to the locations of the depicted access points shall be permitted, based on staff review of IMDPs. Additionally, the Owner shall be permitted to add up to four (4) new driveway connections within the PVIC Property not depicted on the MDP Map via Small Adjustment with an accompanying IMDP, provided that any new access locations are subject to County review and approval, and an access plan will be provided that includes access spacing and demonstrates no vehicular or pedestrian conflicts, and by the time an IMDP is approved for the last parcel in Phase 6 of the project, there are no more driveways within the PUD than are depicted on the MDP Map included with this ordinance. See **Section T**, Waiver 24. Site access and intersection improvements will be determined based on a detailed vehicular and pedestrian site access and operational analysis to be provided to the County prior to construction plan approval for each non-residential development parcel within the Properties to establish appropriate site access improvements based on build-out of each area. This analysis will include the existing vehicular and pedestrian access locations to the external roadway network and adjacent intersections, as appropriate, and will be updated as needed as the project continues redevelopment to determine if additional improvements are needed within the immediate project area to provide for safe and efficient access to the proposed development. See **Section T**, Waiver 24. Pavers, stamped or patterned concrete or other types of paving or decorative materials can be used in Project driveways, parking areas, pedestrian crosswalks and sidewalks, as well as Ponte Vedra Boulevard, subject to the County's approval of any required permits and hold harmless agreements.

H.3 Pedestrian/Bicycle/Other Access

Pedestrian and bicycle circulation will be provided via existing sidewalks. Any new sidewalks will be a minimum of four (4) feet in width on local roads and five (5) feet in width on collector roads. Any new multi-purpose paths (for pedestrians and bicycles) shall be a minimum of 12 feet in width. Any new golf cart paths shall be a minimum

of 12 feet in width. All existing and new golf cart paths will be separate from sidewalks and multi-purpose paths. Golf cart use within the Properties shall comply with applicable local and state laws and regulations. The project will include bicycle and golf cart parking areas, the locations of which shall be depicted on IMDPs. All pedestrian accessible routes shall meet the requirements of the Code, Florida Accessibility Code for Building Construction ("**FACBC**") and Americans Disability Act Accessibility Guidelines ("**ADAAG**") established by Florida law and 28 CFR Part 36.

H.4 Interconnectivity

Vehicular interconnectivity for the PVIC Property is provided primarily via Ponte Vedra Boulevard, Miranda Road and Pablo Road. Vehicular interconnectivity for the Lodge Property is provided via Ponte Vedra Boulevard and Corona Road. Internal vehicular interconnectivity shall be provided via access drives, as depicted on the MDP Map for the Properties. Pedestrian interconnectivity is provided via existing sidewalks and pedestrian crosswalks, in the locations and widths depicted on the MDP Map for the Properties. Minor changes to vehicular and pedestrian access points depicted on the MDP Map shall be permitted, with such changes being depicted on IMDPs.

H.5 Open Space and Recreation

The Project does not contain residential units, and therefore no parks or recreational areas are required by the Code or St. Johns County Comprehensive Plan. The Resorts will provide a number of private recreational amenities for use by guests and members.

The Ponte Vedra Inn & Club and The Lodge & Club Ponte Vedra Beach have been developed with resort buildings, amenities, parking areas and lagoons for years, so the upland natural vegetation is no longer present. This condition shall be permitted to continue during redevelopment of the resorts. See **Section T**, Waiver 21. The Project will provide a minimum of 25 percent open space, pursuant to LDC Section 5.03.03.A.1.

H.6 Water and Sewer Service

The Properties are located within the service area of JEA. All utility construction shall be designed in accordance with JEA standards and subject to St. Johns County approval for location within public rights-of-way.

H.7 Fire Protection

Fire protection shall be consistent with applicable provisions of the Code and current Florida Fire Prevention Code. Fire equipment accessibility will be provided in compliance with NFPA 1, Chapter 18 and the Code. All structures that exceed 35 feet in height shall be protected with an automatic sprinkler system designed and installed in accordance with the latest edition of NFPA 13, or equivalent standard as adopted in the Florida Fire Prevention Code.



H.8 Solid Waste Collection

Solid waste collection shall be provided by the County-contracted waste collection company or other private provider. Solid waste from the Project shall be stored in enclosed receptacles and appropriately screened areas.

I. Water, Sewer and Reuse

Water, sewer and reclaimed water services have historically been obtained from, and will continue to be provided by, JEA via central utility systems. The Project will continue to allow JEA to store reclaimed water within golf course lagoons, which water can be used to irrigate Project golf courses. All on-site utilities will be public. Water and sewer lines that are to be dedicated to the JEA for ownership that are not located in public rights-of-way shall require an easement/restoration agreement. All utility construction shall be designed in accordance with JEA standards.

J. Soils

The Properties will be redeveloped. The Soil Survey of St. Johns County (U.S. Department of Agriculture, Soil Conservation Service, 1983) indicates that the Properties are defined as St. Augustine-Urban Land Complex. Portions of the Properties are defined as 'beaches'.

K. Upland Forest and Wetland Vegetation

The Properties are already developed and do not contain any wetland vegetation or upland forest.

L. Significant Natural Communities Habitat and Listed Species

There are no Significant Natural Communities Habitat or Listed Species, as those terms are defined in the Code, within the Properties.

M. Known or Observed Historic Resources

There are three structures for which Florida Master Site Files exist within the PVIC Property. One of them is the Great Room within the Inn building, which was constructed in 1937. The room is noted in Florida Master Site File SJ03829. According to a 2022 St. Johns County report, the Great Room has undergone significant expansions and alterations since its original construction and no longer retains visible remnants of its historic appearance. Thus, the Great Room does not meet any of the criteria of LDC Section 3.01.04.C. The other two structures are single-family residences (Florida Master Site Files SJ03794 and SJ03795). When construction plans are submitted for redevelopment of structures within the Properties, any renovation or demolition of any structures that are 50 years old or older and that meet the significance criteria in LDC Section 3.01.04.C will require a Historic American Buildings Survey ("HABS") Level III survey and, if necessary based on results of survey, a mitigation plan.

N. Buffering and Landscaping

N.1 Perimeter Buffer

A natural or landscaped perimeter buffer a minimum ten (10) feet wide shall be located along the perimeters of each of the Properties and not around the boundaries of individual development parcels or around the JEA lift station parcel depicted on the MDP Map for the PVIC Property, **Exhibit "C"**. See **Section T**, Waiver 22. Landscaped buffers a minimum of five (5) feet wide shall be provided along Ponte Vedra Boulevard. See **Section T**, Waiver 3. The Owner will provide enhanced landscaping within any buffers that do not meet code width requirements. The Owner will also provide and maintain landscaping within Ponte Vedra Boulevard right-of-way adjacent to the Properties to provide visual enhancement. The locations of the perimeter buffers are illustrated on the MDP Map, **Exhibit "C"**. Such buffers will meet the applicable requirements of LDC Section 6.06.04. The Owner will show all buffers on incremental MDPs. The Owner will be permitted to construct sidewalks, cart paths and golf course holes within the perimeter buffer. Tree mitigation and landscaping will comply with LDC Section 6.06.04 and other applicable Code provisions.

All areas with active construction activities shall be enclosed with a temporary six (6)-foot chain-link fence with a windscreen material to obstruct views from neighboring properties.

N.2 Screening

Screening of mechanical equipment located on the ground and/or rooftop will be in compliance with LDC Section 6.06.04.B.9. The Properties will comply with applicable screening standards set forth in PV Code Section VIII.Q.5.a(4).

N.3 Upland Buffers and Building Setback

There are no wetlands within the Properties, so no upland buffers or building setbacks from upland buffers are required. Any construction of new buildings seaward of the Coastal Construction Control Line is required to be permitted through the Florida Department of Environmental Protection, Bureau of Beaches and Coastal Resources.

N.4 Landscaping

Landscaping for the Project will be designed to establish a high-quality environment that provides for visibility, safety and low maintenance. The landscape will be designed to enhance the Properties and to coordinate with the proposed architecture. The design of the landscape shall provide a pleasant appearance from the adjacent roadways, and special emphasis will be placed on screening service areas from these roads. Landscaping will be consistent with typical plantings found in northeastern St. Johns County.

The parking areas will be landscaped at the required minimum five (5) percent of vehicle use area, utilizing parking islands and green space interspersed throughout the parking fields. Terminal islands will be a minimum of 12 feet in width and internal



islands being a minimum of eight (8) feet in width, both types of islands containing at least one (1) tree. Maximum spacing of internal islands shall be 11 spaces. See **Section T**, Waivers 14 and 29.

Tree plantings shall be a mixture of native and adapted species. No landscaped buffers will be provided internal to the site because of the mixed-use nature of the Project and the fact that all uses are non-residential and thus similar in intensity. The non-residential uses are similar in intensity. The Properties are separated from parcels not included within this Project by large expanses of lagoons and other open space, as well as roads. In order to emphasize water conservation, new plantings will be selected from the University of Florida's Florida Friendly Plant Guide as appropriate to the local climate and microclimate of the site. New landscaping shall be in conformance with LDC Section 6.06.00 and other applicable Code provisions, except as waived or otherwise relieved in **Section T**.

O. Special Districts

The Properties are located within the Ponte Vedra Overlay District. **Section T** of this PUD text includes waivers from the provisions of the Ponte Vedra Zoning District Regulations. Several zoning and non-zoning variances from the Ponte Vedra Overlay District have previously been granted to the Properties and are transferrable and run with the Properties. A list of such variances was submitted to the County with the PUD application for the Properties.

P. Temporary Uses

Temporary construction trailers may be located on the Properties during construction of the Project. Temporary construction trailers shall be removed no later than 30 days following the issuance of a certificate of occupancy for all buildings within each phase. Because construction of the Project will be phased, the Owner shall be permitted to place temporary signage within portions of the Properties within which construction is underway to direct guests, members, customers and other visitors to other areas of the Properties that are in operation. Construction staging areas may be located within any phase of the Project.

Temporary resort facilities (not including resort guest rooms) may be located on the Properties during construction of the Project. Temporary resort facilities may include but not be limited to trailers for showers, restrooms and other resort services. Temporary resort facilities shall be removed no later than 30 days following the issuance of a certificate of occupancy for all buildings within each phase. All temporary resort facilities shall meet applicable provisions of the Florida Accessibility Code for Building Construction, including but not limited to, an accessible route and accessible parking with signage.

The Owner shall be permitted to erect temporary on-site construction and directional signage on the Properties, in conformance with the Unified Sign Plan.

Temporary parking areas may be located within the Properties, in conformance with applicable Code requirements. Fencing for temporary parking areas shall be subject to



Section T, Waiver 6. Landscaping for temporary parking areas shall comply with applicable Code provisions, except as set forth in **Section T**, Waiver 3.

The temporary trailers, facilities, signs and other improvements referenced in this Section P shall not be required to undergo review by PVARC but will be required to meet applicable local, state and federal regulations governing such facilities.

Q. Accessory Uses

Because of the mixed-use nature of the Project, locations of Accessory Uses for structures are not limited from, or assigned to, any specific location on the site. Air conditioning units and/or heating/cooling units may be placed on roofs, provided they are screened from view from adjacent public rights-of-way or located on the ground and screened from view from any adjacent public right-of-way. Trash receptacles, dumpsters, utility meters, above-ground tanks, satellite dishes (except as provided by Florida law), antenna and other similar structures shall be similarly screened. Off-street parking and loading shall also be permitted. All loading areas will comply with LDC Section 6.05.02.K.

Swimming pools may be provided for recreation at any hotel or recreation facility that may be constructed on the Properties. Any swimming pool shall be permitted as an Accessory Use associated with the hotel, recreation facility or with a commercial use such as a health club or spa. Swimming pools shall not be located closer than 40 feet from any public right-of-way unless a continuous living landscape buffer of at least 24 inches in height is installed, in which case a minimum setback of ten (10) feet to the pool will be required.

Accessory Uses such as guardhouses; air conditioning units and related heating/cooling units; swimming pools and pool equipment; fences (including existing fences within the Properties), walls or hedges; golf course safety netting; gazebos and other open-air structures; boardwalks, docks, and other similar uses shall be permitted within the Property, all as subject to the applicable standards set forth in LDC Sections 2.02.04.A.3.C, 2.02.04.B and 6.04.06.F.7.d and PV Code Section VII.L All Accessory structures shall comply with appropriate Florida Building Codes, including life safety issues, fire separations and Florida Accessibility Code for Building Construction requirements.

R. Development Rights, Phasing, Schedule

Development Rights Phasing (Existing and Proposed)⁽¹⁾

Project Phase	PVIC Property Resort Rooms	PVIC Property Resort Space	Lodge Property Resort Rooms	Lodge Property Resort Space
Phase 1 ⁽²⁾	281 rooms	490,000 sf	66 rooms	35,000 sf
Phase 2	0 rooms	0 sf	20 rooms	35,000 sf
Phase 3	13 rooms	75,000 sf	0 rooms	0 sf
Phase 4	16 rooms	10,000 sf	0 rooms	0 sf
Phase 5	20 rooms	10,000 sf	0 rooms	0 sf
Phase 6	19 rooms	10,000 sf	0 rooms	0 sf
Total for All Phases	349 Rooms	595,000 sf	86 rooms	70,000 sf

(1) Maximum Intensity includes the existing and proposed resort guest rooms/suites and resort space within the PVIC Property and the Lodge Property, respectively. The space within guest rooms/suites is not included in the square footage of resort space, as guest rooms/suites represent a different development right than resort space. Existing buildings will either be renovated or removed and replaced with new facilities, over time. The maximum reflected is at the completion of each phase.

(2) Phase 1 includes existing resort guest rooms/suites and resort space within the Properties. The number of existing resort rooms within the PVIC Property is 262 and within the Lodge Property is 66. Due to the age of some of the buildings located within the Properties, as-built plans and record drawings of some buildings are not available to determine exact square footage. According to the St. Johns County Property Appraiser's website, the amount of existing resort space within the PVIC Property is approximately 350,000 square feet and within the Lodge Property is approximately 40,000 square feet.



Phase Timing

Project Phase	Commencement Timing from Date of Approval of this PUD Ordinance
Phase 1	Within 5 years
Phase 2	Within 10 years
Phase 3	Within 10 years
Phase 4	Within 15 years
Phase 5	Within 20 years
Phase 6	Within 25 years

Commencement of construction shall be deemed to have occurred upon the County's approval of applicable infrastructure construction plans for each phase. Completion of each building shall occur within three (3) years of commencement. Completion shall be defined as receipt of approval from the County of applicable As-Built Surveys or certification of completion by the Owner's engineer. Completion dates may be extended through a modification of this PUD Ordinance. Phases shall be permitted to run concurrently. Unused development rights from a particular phase carry over into subsequent phases until build-out. The Project will be completed no later than December 31, 2053.

S. Project Impact and Benefits

The Project will provide for the redevelopment of an AAA Five-Diamond resort and an AAA Four-Diamond resort in the heart of Ponte Vedra Beach. The Properties draw visitors from all over the world and provides lodging for corporate clients and patients of the PGA TOUR, the ATP, Mayo Clinic and other national and international businesses located in and around Northeast Florida.

The redeveloped Resorts will also bring an even higher level of lodging and recreational facilities for visitors and residents and increased visibility for St. Johns County on a national and international scale. The multi-million-dollar improvements being provided by the Project should enhance the overall ambiance of the Ponte Vedra Beach community.

The multi-million-dollar capital investments planned for the Properties will not only enhance the overall ambiance of the Ponte Vedra Beach community, they will offer



employment opportunities for residents and greater revenues for the County. With only 11 percent of the County's tax base coming from non-residential properties, the redevelopment of the Resorts will be of assistance to the County Commission, which has a stated goal of increasing the non-residential tax base to 30 percent. The private investment in the property will also increase occupancy, over time, which will result in increased bed-tax revenue for the County.

T. Waivers, Variances or Deviations

The Future Land Use Element of the St. Johns County Comprehensive Plan supports and promotes creative design concepts and innovative land use patterns such as mixed-use developments. However, because most of the provisions of the Code and PV Code have not yet been amended to incorporate these highly desirable design concepts, there are many criteria within the Code and PV Code that would prohibit this type of mixed-use development pattern. Until the Code and PV Code are updated to incorporate these concepts, it is necessary for the Owner and others who wish to develop mixed-use projects to request waivers from various provisions of the Code and PV Code.

In order to implement redevelopment of the Resorts, it is necessary for the Owner to obtain certain waivers from the provisions of the Code and PV Code, as set forth in Table T.1:

Table T.1 WAIVERS & REGULATIONS

Table with 2 columns: Waiver and Regulation Code. It details zoning regulations for the Ponte Vedra Zoning District, including building height exemptions and non-conforming structures.



Waiver	Regulation Code
<p>before the PV Code was enacted, and others have received zoning and non-zoning variance approvals from St. Johns County over the years. These existing, non-confirming structures shall be permitted to remain, and the Owner shall be permitted to redevelop such structures as provided within the PUD.</p>	<p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>3.) The Properties currently include landscaped buffers along Ponte Vedra Boulevard and lagoon areas that are not 20 feet in depth, thus necessitating a waiver. During redevelopment of the Properties, the Owner shall be permitted to utilize the existing landscaped buffers, many of which were established prior to enactment of the PV Code or through prior County approvals. Due to constrained lands for redevelopment, the landscaped buffer along Ponte Vedra Boulevard and lagoon areas will be a minimum of five (5) feet. The Owner will provide and maintain landscaping within the road rights-of-way adjacent to the Properties to provide visual enhancement.</p>	<p>Sections VIII.F.5, VIII.Q.5.b(2) - Landscaped Buffers between Improvements and Rights-of-Way.</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>4.) The Properties currently include buildings that have a maximum lot coverage and a maximum impervious surface ratio per parcel greater than 65 percent. The Future Land Use Map designations of portions of the Properties permit maximum lot coverage by buildings of 70 percent and maximum impervious surface ratios of 75 percent. The Owner is currently complying with the maximum lot coverage and impervious surface ratios permitted in applicable Future Land Use Map categories.</p>	<p>Section VIII.M – Maximum Lot Coverage and Impervious Surface Per Use</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>5.) The redevelopment of the Resorts as a whole and individual buildings may utilize flat roof lines when incorporated into a cohesive design and not visible from ground level. Examples include rooftop areas where mechanical and other equipment is located and other areas that need to be accessible for maintenance.</p>	<p>Section VIII.Q.5.a(1) - Flat Roof Lines</p> <p>Waiver Class: Architectural Design/Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>6.) The Properties already contain tennis and pickleball courts, which need to be fenced to keep balls within the court boundaries, for safety purposes. Additional sports courts and temporary parking areas may be added in the future. Any new fencing will be chain link, which will be vinyl coated with block. Additional screening in the form of hedges and trellis vegetation will be provided where permanent fencing will be visible from public rights-of-way and adjacent homes. Existing golf course holes are protected with netting to prevent golf balls from traveling onto adjacent parcels. Safety netting shall continue to be permitted adjacent to golf course holes, in the heights necessary to protect passersby. Some existing golf course areas are protected with white rail fencing to separate golfers and their carts from bicycle and vehicle traffic along Ponte Vedra Boulevard. Such fencing shall be permitted to remain in place and be repaired and replaced as necessary.</p>	<p>Section VIII.Q.5.a(7) – Fencing</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>7.) The Properties already contain areas where buildings exceed 10,000 square feet of gross floor area per acre. This waiver is necessary to allow the redevelopment of the Resorts with more than 10,000 square feet of gross</p>	<p>Section VIII.Q.5.a.(10) - Commercial Uses limited to 10,000 Square Feet GFA Per Acre.</p>



Waiver	Regulation Code
<p>floor area per acre. Some portions of the Properties, including golf course and lagoons, will remain in their existing conditions, without buildings located thereon. The Project will comply with the intensity requirements of applicable Comprehensive Plan future land use designation areas within the Properties.</p>	<p>Waiver Class: Existing Condition/Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>8.) The Resorts already contain buildings that are longer than 120 feet parallel or within 45 degrees parallel to Ponte Vedra Boulevard. The longest such building is the existing oceanfront Lodge building, which is 568 feet in length. This waiver is necessary to allow the redevelopment of the Properties with buildings longer than 120 feet parallel or within 45 degrees parallel to Ponte Vedra Boulevard, but in no event longer than provided in Table G.2 in Section G herein. The Project buildings will be designed to ensure that longer buildings have façade relief and are appropriately landscaped, in keeping with the character and charm of resort architecture.</p>	<p>Section VIII.Q.5.a.(11) - Maximum Length of Buildings Parallel or Within 45 degrees Parallel to Overlay Roadway Limited to 120 Feet.</p> <p>Waiver Class: Existing Condition/Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>9.) For the purposes of this PUD, minimum required yards will be as set forth in Section G of this text. The Properties already contain a number of buildings, many of which do not meet minimum setback/yard requirements, either because the buildings were constructed prior to the PV Code being enacted or as a result of the County's approval of zoning and non-zoning variances. There will be no minimum yard requirements for buildings adjacent to commonly owned property.</p>	<p>Section VIII.Q.5.b(1) - Site Design Criteria/Minimum Yard Requirements.</p> <p>Waiver Class: Existing Conditions/Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>10.) For the purposes of this PUD, minimum building separation within the Properties will be as set forth in Section G of this text. The Properties already contain a number of existing buildings, many of which are not separated by 20 feet, either because the buildings were constructed prior to the PV Code being enacted or as a result of the County's approval of zoning and non-zoning variances.</p>	<p>Section VIII.Q.5.b(1)(f) - Site Design Criteria/Building Separation.</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property</p>
<p>11.) The Resorts already contain accessory uses and structures that are visible from Ponte Vedra Boulevard, which may be located forward of the applicable primary building and exceed seven (7) feet in height. Such accessory uses and structures shall be permitted to be reconstructed as provided in this PUD.</p>	<p>Section VIII.Q.5.b(1)(g) - Site Design Criteria/Accessory Uses and Structures.</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>12.) For the Lodge Property, a maximum 55-foot-tall fitness center and a maximum 55-foot-tall parking garage will be constructed on the portion of the site west of Ponte Vedra Boulevard. These buildings will be less than 100 feet from the nearest residentially zoned property. The Owner owns the lagoon and portion of the Guana River bottomland to the west of the Palmer Building and the proposed fitness center, respectively. The wetland area west of the Guana River is heavily wooded, with trees taller than the proposed fitness</p>	<p>Section VIII.Q.5.b(2)(d) - Setback from Residentially Zoned Property</p> <p>Waiver Class: Architectural Design</p>



Waiver	Regulation Code
center and parking garage, which will provide natural screening from residences to the west.	Applicability: Lodge Property
13.) The Lodge Property and the PVIC Property will include lighted courts for tennis, pickleball and/or other outdoor sports so participants can play during evening hours. Court lighting will be of low intensity, white light and shall not spill over into adjoining properties, roadways or otherwise interfere with the vision of oncoming motorists. This waiver will not apply to lighting for any new parking garages within the Properties.	Section VIII.Q.5.d.1 – Site Lighting Waiver Class: Existing Conditions Applicability: PVIC Property and Lodge Property
14.) The PVIC Property already includes a parking garage and surface lot (permanent and temporary) parking areas. The Lodge Property is proposing to make better use of limited land for club amenities, and parking for guests and members by garage and surface parking (permanent and temporary). Redevelopment of surface parking spaces will follow the St. Johns County Land Development Code, Part 6.05.00, provided that 90-degree parking stall depths can be 18 feet deep with a 24-foot, two (2)-way drive aisle. Terminal tree islands shall be twelve (12) feet wide and interior tree islands shall be eight (8) feet wide. Both island types shall be measured from the face of curb and extend the required length of the Parking Space. Existing parking may remain. Surface parking lots shall be broken by landscape islands every 11 spaces.	Section IX.B.6 Size of Parking and Loading Spaces, Tree Islands Waiver Class: Architectural Design Applicability: PVIC Property and Lodge Property
15.) The PVIC Property includes existing ground signs that slightly exceed the standard outlined in this section of the PV Code. The existing ground signs compliment the PVIC Property and provide proper identification for the resort. This waiver will increase the ground sign face area from 32 square feet to 40 square feet and increase the ground sign height from eight (8) feet to ten (10) feet. This waiver will increase the directional sign size from two (2) square feet to three (3) square feet, matching the Code standard.	Section VIII.Q.5.c, X.C.2.e(1), Section X.C.4, Section X.C.5 Number and Size of Signs Permitted in R-3 Commercial District Waiver Class: Existing Conditions Applicability: PVIC Property
16.) The PVIC Property and Lodge Property are master planned with a long-term redevelopment program, subject to a Unified Sign Plan to describe sign design. Temporary and Special Event Signs are not adequately addressed in the PV Code since these sign types are defined in the Code. This waiver connects the provisions of the Code to the Properties.	Section VIII.Q.5.c Sign Types Waiver Class: Existing Conditions/Architectural Design Applicability: PVIC Property, Lodge Property
17.) The PVIC Property includes a variety of resort uses and thus has an existing and future need for directional signs to guide visitors and members. This waiver increases the size of directional signs from two (2) square feet to three (3) square feet.	Section X.C.5 Number and Size of Signs Permitted in R-3 Commercial District Waiver Class: Existing Conditions Applicability: PVIC Property

ST. JOHNS COUNTY LAND DEVELOPMENT CODE REGULATIONS:	
18.) This waiver seeks to change the number of temporary use permits from current Code allowance of one (1) time per month, not to exceed three (3)	Section 2.02.05.A.2.A (Outdoor Seasonal Sales)



<p>days for each event and one (1) permit per parcel. The request sets no maximum number of permits per year or parcel and maintains five (5) days for each event.</p>	<p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>19). The existing resorts located within the Properties currently serve alcoholic beverages in restaurants, bars and other areas within the Properties. This practice predates the enactment of the Beach Code Ordinance, St. Johns County Ordinance No. 2007-19, and shall continue to be permitted within the Properties. This waiver includes a waiver from Section 3.01 of the aforementioned Beach Code Ordinance, which prohibits the possession of alcoholic beverages on the beach. Resort employees will be responsible for cleaning up any trash left on the beach by guests within the beach service areas.</p>	<p>Section 2.03.02 (Alcoholic Beverages); Beach Code Ordinance No. 2007-19, Section 3.01</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>20). This waiver seeks to allow the details of development of various portions of the Property to be reviewed and approved through incremental Master Development Plans ("IMDPs"). The Owner has not fully planned the redevelopment of the Inn & Club or the Lodge. The Owner will file and obtain approval of IMDPs for parcels within the Property prior to construction plan approval.</p>	<p>Section 5.03.02.G.2 Master Development Plan Details</p> <p>Waiver Class: Existing Conditions/Resiliency</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>21). Both the Ponte Vedra Inn & Club and the Lodge & Club Ponte Vedra Beach have existed for years in the Ponte Vedra Beach community. The resorts have been fully developed with buildings, golf course, tennis facilities, other recreational amenities, parking areas, lagoons and other improvements. No wetlands or upland natural, native vegetation remains. This waiver seeks to allow the existing developed condition of the Properties to remain as existing.</p>	<p>Section 5.03.03.A.3 (Conservation of Upland Natural Vegetation)</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>22.) For the purposes of this PUD, minimum required setbacks/yards will be as set forth in Section G of this text. The Properties already contain a number of buildings, many of which do not have a 20-foot setback for building, parking and/or storage areas along Ponte Vedra Boulevard. The Owner provided a lift station parcel to JEA in order to provide utilities to the area, and no setback shall be required from the JEA parcel, which is depicted on the MDP Map for the PVIC Property, Exhibit "C-1". New buildings within the Properties will be separated by a minimum of 20 feet.</p>	<p>Section 5.03.03.B.2 - Commercial Setbacks for Buildings, Parking or Storage.</p> <p>Waiver Class: Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>23.) For the purposes of this PUD, the definition of Building Height set forth in Section G hereof shall apply. This waiver is necessary due to the location of the Property along the Atlantic Ocean, in order to provide resiliency and sustainability of the Resorts over the long term. Because the PVIC Property is surrounded on three sides by other land owned by the Owner (except for two adjacent homes beachside on the north and south ends of the PVIC Property) and the fourth side by the Atlantic Ocean, the building heights will not affect</p>	<p>Section 5.03.03.C - Building Height in Coastal Area</p> <p>Waiver Class: Resiliency/Existing Conditions</p>



<p>lands owned by others. The Property already includes several buildings that are taller than 35 feet in height, either because the buildings were constructed prior to the Land Development Code being in effect or because the Owner obtained zoning variances for taller structures.</p>	<p>Applicability: PVIC Property and Lodge Property</p>
<p>24.) The PVIC Property and the Lodge Property have existing vehicular and pedestrian access points from Ponte Vedra Boulevard and other public streets. The Owner has done its best to identify all new vehicular and pedestrian access points that may be necessary for the redevelopment. In the event additional new vehicular or pedestrian access points are needed during redevelopment of the Properties, such new access points shall be approved via Small Adjustment to this PUD, with the total number of access points being governed by Section H.2 hereof.</p>	<p>Section 5.03.05.C.6 Changes in Approved Planned Unit Developments</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>25.) The PVIC Property includes multiple existing vehicular connections to Ponte Vedra Boulevard and the side streets Miranda and San Pablo. The MDP Map, Exhibit "C", depicts the existing vehicular connections. Second, the posted speed limit on Ponte Vedra Boulevard is 15 miles per hour, below the stated speed limit listed in Table 6.03A. The reduced speed on Ponte Vedra Boulevard eliminates the need for auxiliary lanes. Adding auxiliary lanes within the Ponte Vedra Boulevard cross-section would adversely impact the character of the street, expanding more areas dedicated to car use than people in the Resort.</p>	<p>Section 6.04.05.H and K Access Management, Auxiliary Lanes and Classifications</p> <p>Waiver Class: Existing Conditions</p> <p>Applicability: PVIC Property</p>
<p>26.) This waiver allows for site-specific 90-degree parking stall depths to be 18 feet deep with a 24-foot, two (2)-way drive aisle. This waiver is requested because LDC Section 6.05.02.H is referenced in Section IX.B.6 of the Ponte Vedra Zoning District Regulations.</p>	<p>Section 6.05.02.H – Parking Stall Dimensions</p> <p>Waiver Class: Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>27.) Where palm trees are used, palms may receive credit for up to 50 percent of the title required tree inches. Further, palm trees may be planted with a minimum spacing of five (5) feet when planted as a cluster, and non-canopy trees may be planted no closer than ten (10) feet from a canopy tree. Clustered palms, three (3) or more, shall be considered a canopy tree.</p>	<p>Section 6.06.02.C.4 Palms</p> <p>Waiver Class: Existing Conditions/Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>28.) Trees may consist of any combination of canopy trees, palms and non-canopy trees, with 70 percent of the trees required to be canopy or palm trees. Of the trees provided in the 70-percent allocation, a maximum of 50 percent of that 70 percent may be palm trees. Palm trees may be planted with a minimum spacing of five (5) feet when planted as a cluster, and non-canopy trees may be planted no closer than ten (10) feet of a canopy tree.</p>	<p>Section 6.06.03.A Canopy Trees</p> <p>Waiver Class: Existing Conditions/Architectural Design</p> <p>Applicability: PVIC Property and Lodge Property</p>
<p>29.) This waiver allows for site specific terminal and interior tree islands to be reduced from 15 to 12 feet for terminal and eight (8) feet for interior islands. Both island types shall be measured from the back of curb and extend the required length of the parking space. Existing parking may remain.</p>	<p>Section 6.05.02.H and Table 6.18 – Parking Areas</p> <p>Waiver Class: Architectural Design</p>



	Applicability: PVIC Property and Lodge Property
30.) The Properties contain a number of existing structures within the Resorts that do not conform to the County's current regulations. Some of these structures were constructed before the Code was enacted, and others have received zoning and non-zoning variance approvals from St. Johns County over the years. These existing, non-confirming structures shall be permitted to remain, and the Owner shall be permitted to redevelop such structures as provided within the PUD.	Part 10.03.00 – Nonconforming Lots, Uses and Structures Waiver Class: Existing Conditions Applicability: PVIC Property and Lodge Property

U. Binding All Successors

The Owner, on behalf of itself and its successors and assigns, hereby agrees and stipulates to proceed with the proposed development in accordance with the PUD ordinance for this application as adopted by the St. Johns County Board of County Commissioners. The Owner also agrees to comply with all conditions and safeguards established by the Ponte Vedra Zoning and Adjustment Board and the St. Johns County Board of County Commissioners with respect to this PUD rezoning application.

All private roads, drainage facilities and common areas located within the PUD for the common use and benefit of all property owners shall be constructed, operated and maintained by the Owner.



V. Future Land Use Map Designations

The Properties are designated as Commercial, Residential D and Residential B within the boundary of the Development Area on the County's 2025 Future Land Use Map. The Ponte Vedra Inn & Club complex buildings located at 200 Ponte Vedra Boulevard are bifurcated between Commercial and Residential B future land use designations. Because of this situation, the entire Ponte Vedra Inn & Club complex should be designated as Commercial by virtue of Comprehensive Plan Land Use Element Policy A.1.11.5(a), which states:

A.1.11.5 The exact boundaries of the land use designations on the Future Land Use Map may require interpretation in order to determine the appropriate land use designation of various parcels and lots. When necessary, the following criteria shall be used to establish the location of a specific boundary and to allow minor deviations, if not clearly delineated on the Future Land Use Map:

- (a) The closest parcel or lot line when a land use designation boundary splits a specific parcel or lot. This provision will carry additional weight if the portion of the split lot or parcel is precluded from development as defined in the Land Use Element. However, in no instance shall a boundary line be extended more than two hundred (200) feet to incorporate the entire parcel or lot. A specific boundary line may not be extended more than one time unless changed by a Comprehensive Plan amendment.

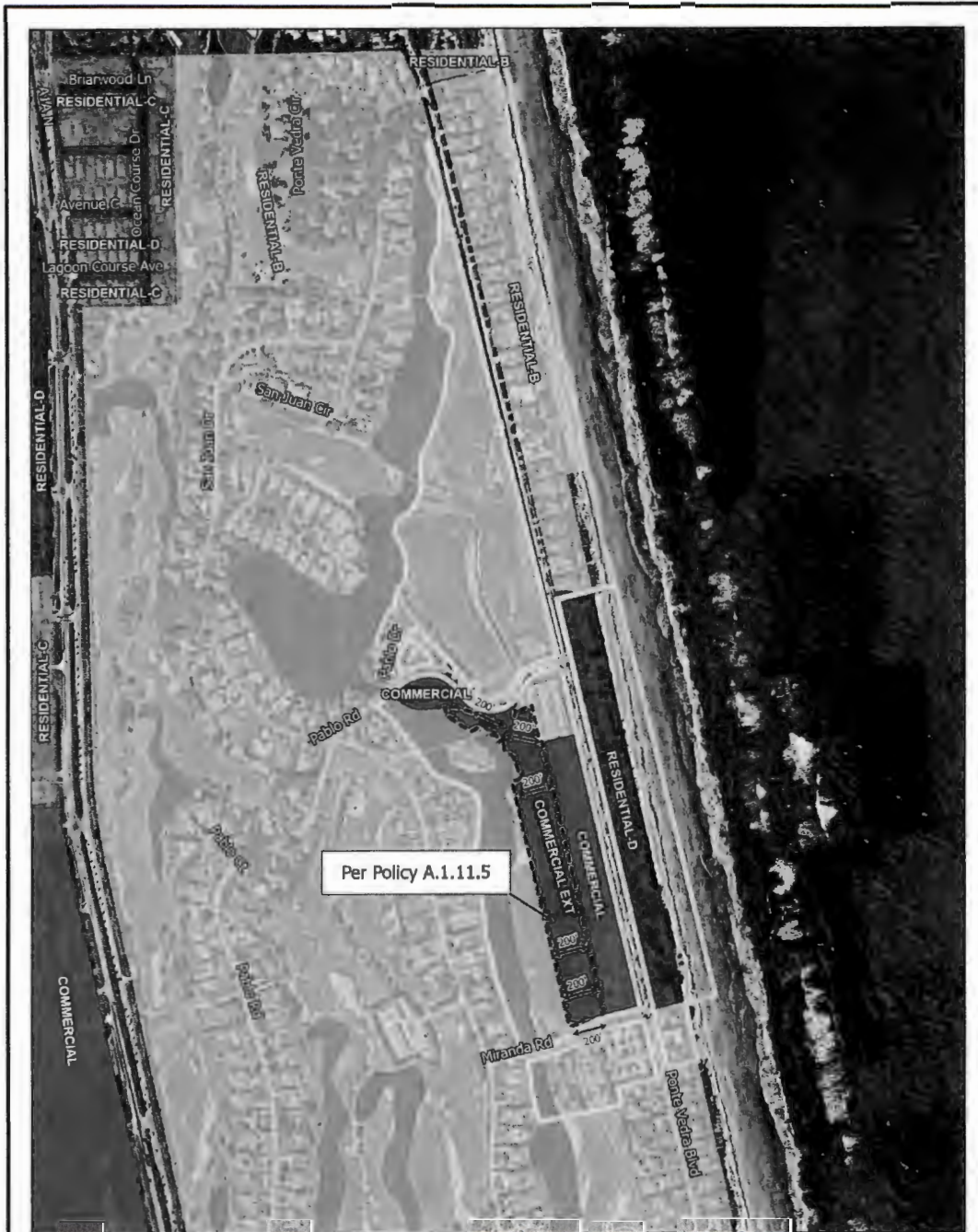
As a result of the above-cited Comprehensive Plan policy, the Future Land Use Map for the Ponte Vedra Inn & Club complex is as depicted below:



The Lodge & Club

MASTER DEVELOPMENT PLAN

EXHIBIT "B"



Ponte Vedra Inn & Club

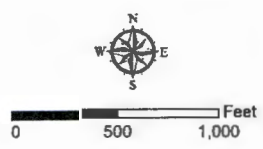
Future Land Use

Source: ETM & St. Johns County

Subject Property

Future Land Use

- COMMERCIAL EXT
- COMMERCIAL
- Residential-B
- RES-C: RESIDENTIAL-C
- Residential-D



ETM England-Thims & Thiller, Inc.

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 904-842-8890 • Fax: 904-848-9485 • www.etmlnc.com

Date: 9/1/2023



The Lodge & Club

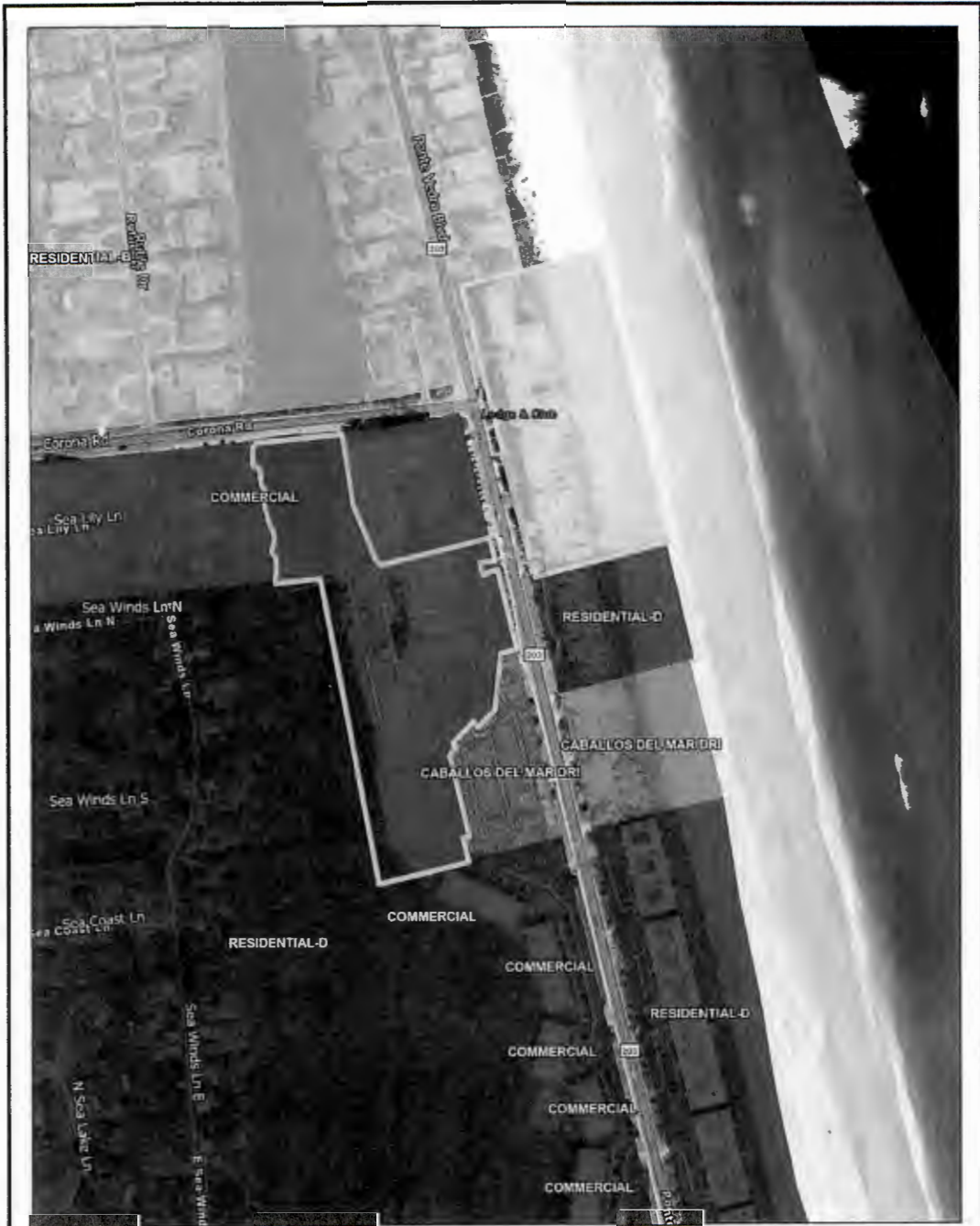
The Future Land Use Map for the Lodge Property is depicted below (no revisions proposed pursuant to Policy A.1.11.5(a)):



The Lodge & Club

MASTER DEVELOPMENT PLAN

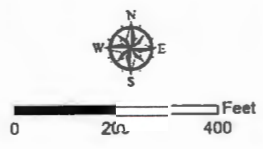
EXHIBIT "B"



Ponte Vedra Lodge

Future Land Use

- Source: ETM & St. Johns County
- Subject Property
- Future Land Use
 - CABALLOS DEL MAR DRI
 - Commercial
 - Residential-B
 - Residential-D



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Date: 9/18/2023



The table below provides **maximum** permitted commercial intensities for parcels within the future land use areas within the Properties, pursuant to St. Johns County Comprehensive Plan Land Use Element Policy A.1.11.3. See Section G.1 for definitions of Impervious Surface Ratio and Floor Area Ratio.

PVIC Property ⁽¹⁾				
Future Land Use Designation	Upland Acres	Wetland Acres	Maximum Impervious Surface Ratio ⁽²⁾	Maximum Floor Area Ratio ⁽²⁾
Residential B	46.42 acres (35.44 acres upland, 10.98 acres lagoons) (2,022,055.2 square feet in total, 1,543,766.4 square feet of upland)	0 acres	1,415,438.6 square feet (0.7 x 2,022,055.2 square feet)	771,883.2 square feet (0.5 x 1,543,766.4 square feet)
Residential D	17.37 acres (all upland, no lagoons) (756,637.2 square feet)	0 acres	529,646 square feet (0.7 x 756,637.2 square feet)	378,318.6 square feet (0.5 x 756,637.2 square feet)
Commercial	16.18 acres (16.17 acres of upland, 0.01 acres of lagoons) (704,800.8 square feet, 704,365.2 square feet of uplands)	0 acres	493,360.6 square feet (0.7 x 704,800.8 square feet)	352,182.6 square feet (0.5 x 704,365.2 square feet)
Total	79.97 acres (3,483,493.2 square feet)	0 acres	2,438,445.2 square feet	1,502,384.4 square feet



Lodge Property ⁽³⁾				
Future Land Use Designation	Upland Acres	Wetland Acres	Maximum Impervious Surface Ratio ⁽²⁾	Maximum Floor Area Ratio ⁽²⁾
Residential B	4.7 acres (all uplands, no lagoons) (204,732 square feet)	0 acres	143,312.4 square feet (0.7 x 204,732 square feet)	102,366 square feet (0.5 x 204,732 square feet)
Residential D	1.36 acres (0.93 acres uplands, 0.43 acres lagoons) (59,241.6 square feet in total, 40,510.8 acres of upland)	0 acres	41,469.2 square feet (0.7 x 59,241.6 square feet)	20,255.4 square feet (0.5 x 40,510.8)
Commercial	4.43 acres (3.58 acres uplands, 0.85 acres lagoons) (192,970.8 square feet in total, 155,944.8 acres of upland)	0 acres	135,079.6 square feet (0.7 x 192,970.8 square feet)	77,972.4 square feet (0.5 x 155,944.8 square feet)
Total	10.49 acres (456,944.4 square feet)	0 acres	319,861.2 square feet	200,593.8 square feet

(1) Approximately eight (8) acres of the PVIC Property east of the oceanfront resort building does not have a Future Land Use Map designation on the St. Johns County Geographic Information System but is located adjacent to Residential D-designated land so has been included in the Residential D category in the table above.

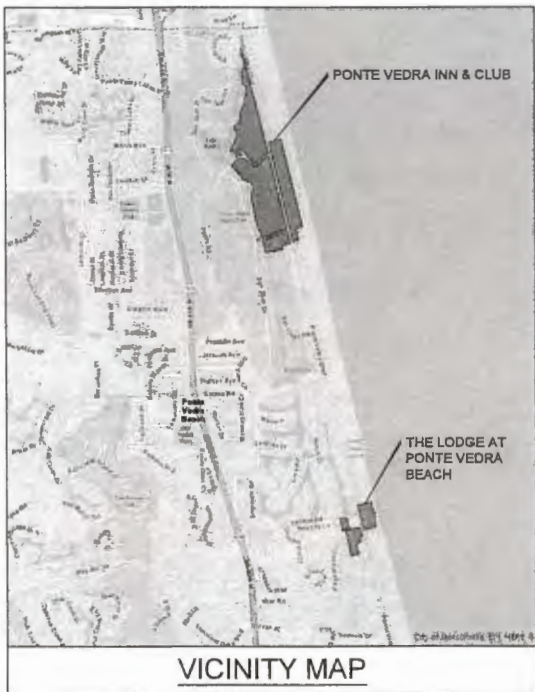
(2) See Table G.1 and footnotes for definitions of Impervious Surface Ratio and Floor Area Ratio.



- (3) Approximately 1.48 acres of the Lodge Property east of the oceanfront Lodge building does not have a Future Land Use Map designation on the St. Johns County Geographic Information System but is located adjacent to Residential B-designated land so has been included in the Residential B category in the table above.

PONTE VEDRA RESORTS

MASTER DEVELOPMENT PLAN



INN & CLUB SITE DATA:

- A. ZONING DESIGNATION:** PUD
B. PARCEL ID NUM: 0509100000, 0509100010, 0580100000, 0579900000, 0580000000
C. PUD ORDINANCE NUMBER: 2023-JX
D. DATA SUMMARY
 1. **TOTAL PROJECT AREA:** 79.97 Ac.
 1.1. **PRESERVED WETLANDS:** 0.00 Ac.
 1.2. **OPEN SPACE, MIN. REQ'D:** 25%
 1.3. **EXIST. LAGOON AREA:** 10.99 Ac.
 1.4. **IMPERVIOUS AREA:** SEE PUD TEXT, SECTION G
 2. **MAX. HEIGHT:** SEE PUD TEXT, HEIGHT ZONES, SHEET 6 & 12
 3. **MAX. FLOOR AREA RATIO (FAR):** SEE PUD TEXT, SECTION G
 4. **MAX. LOT COVERAGE BY BUILDINGS:** SEE PUD TEXT, SECTION G
 5. **SETBACKS:** SEE PUD TEXT
E. DEVELOPMENT PROGRAM
 1. **BUILDING AREA:**
 1.1. **RESORT USE:** 585,000 S.F.
 1.2. **HOTEL:** 349 ROOMS
 2. **PARKING WILL COMPLY WITH THE PONTE VEDRA ZONING CODE. SEE ALSO PUD TEXT.**
F. OWNER
 1. **PONTE VEDRA CORPORATION**

LODGE & CLUB SITE DATA:

- A. ZONING DESIGNATION:** PUD
B. PARCEL ID NUM: 0621580110, 0562300000, 0614200000
C. PUD ORDINANCE NUMBER: 2023-XX
D. DATA SUMMARY
 1. **TOTAL PROJECT AREA:** 10.52 Ac.
 1.1. **PRESERVED WETLANDS:** 0.00 Ac.
 1.2. **OPEN SPACE, MIN. REQ'D:** 25%
 1.3. **EXIST. LAGOON AREAS:** 1.28 Ac.
 1.4. **IMPERVIOUS AREA:** SEE PUD TEXT, SECTION G
 2. **MAX. HEIGHT:** SEE PUD TEXT, HEIGHT ZONES, SHEETS 10 & 11
 3. **MAX. FLOOR AREA RATIO (FAR):** SEE PUD TEXT, SECTION G
 4. **MAX. LOT COVERAGE BY BUILDINGS:** SEE PUD TEXT, SECTION G
 5. **SETBACKS:** SEE PUD TEXT
E. DEVELOPMENT PROGRAM
 1. **BUILDING AREA**
 1.1. **RESORT USE:** 70,000 SF
 1.2. **HOTEL USE:** 86 ROOMS
 2. **PARKING PROVIDED** PARKING WILL COMPLY WITH THE PONTE VEDRA ZONING CODE. SEE ALSO PUD TEXT.
F. OWNER
 1. **THE LODGE AT PONTE VEDRA BEACH, LTD.**
 2. **MARSH LANDING BATH & HEALTH CLUB, LTD.**

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**PONTE VEDRA RESORTS
 MASTER DEVELOPMENT PLAN**

DATE: MARCH, 2023
 PROJECT NO.: 120071.01
 DESIGNED BY:
 DRAWN BY:
 SCALE: SEE PLAN

No.	Date	Revision

SHEET TITLE

MDP COVER

MDP 01

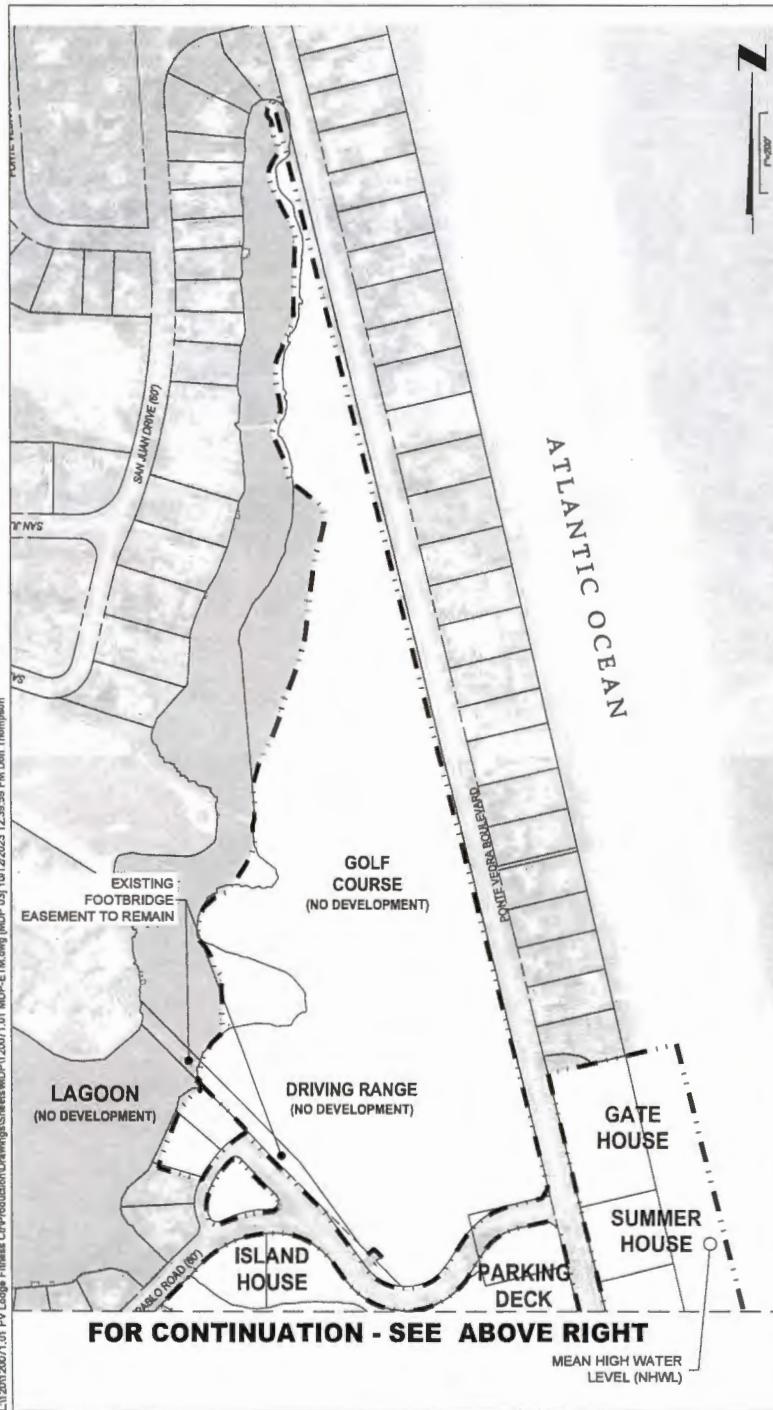
SHEET NUMBER

- NOTES:**
- THE LAYOUT IS CONCEPTUAL AND MAY BE REVISED ON THE MASTER DEVELOPMENT PLAN IN ACCORDANCE WITH LDC SECTION 8.03.05.
 - TEMPORARY CONSTRUCTION AND SALES TRAILERS MAY BE LOCATED ANYWHERE WITHIN THE PUD BOUNDARY AND THE LOCATION MAY CHANGE AS DEVELOPMENT PROGRESSES.
 - STOCKPILE LOCATIONS AND UTILITY EASEMENTS WILL BE DEPICTED ON CONSTRUCTION PLANS.
 - DEVELOPMENT DETAILS (INCLUDING ACCESS AND SIGNAGE) FOR ALL DEVELOPMENT AREAS WILL BE SHOWN ON INCREMENTAL MASTER DEVELOPMENT PLANS.
 - VEHICULAR ACCESS SHOWN IS CONCEPTUAL AND MAY CHANGE IN ACCORDANCE WITH LDC SECTION 8.03.05.
 - SCREENING OF MECHANICAL EQUIPMENT, GROUND AND/OR ROOFTOP, WILL BE IN COMPLIANCE WITH LDC 8.09.04.B.3.
 - SIGNAGE SHOWN IS OPTIONAL.
 - ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT", THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE FAIR HOUSING ACT, WHEN APPLICABLE.

Sheet List Table	
SHEET NUMBER	SHEET TITLE
MDP 01	MDP COVER
MDP 02	MDP LEGAL DESCRIPTIONS
MDP 03	PVIC PROPERTY MDP EXISTING CONDITIONS
MDP 04	PVIC PROPERTY MDP PROPOSED CONDITIONS
MDP 05	PVIC PROPERTY MDP ACCESS CONNECTIONS
MDP 06	PVIC PROPERTY HEIGHT ZONES
MDP 07	LODGE PROPERTY MDP EXISTING CONDITIONS
MDP 08	LODGE PROPERTY MDP PROPOSED CONDITIONS
MDP 09	LODGE PROPERTY MDP ACCESS CONNECTIONS
MDP 10	LODGE PROPERTY HEIGHT ZONES
MDP 11	EXISTING LODGE BUILDING HEIGHT EXHIBIT
MDP 12	EXISTING HISTORIC INN BUILDING HEIGHT EXHIBIT

The Master Development Plan Map is a general representation of the approved plan of development. Final construction and engineering plans must demonstrate compliance with all requirements of the PUD/PRD and other applicable land development regulations.
 APPROVED: _____
 DATE: _____
 ORDINANCE NUMBER: _____
 FILE NUMBER: _____

**PONTE VEDRA
 RESORTS
 MASTER
 DEVELOPMENT
 PLAN**



THE MASTER DEVELOPMENT PLAN MAP IS A GENERAL REPRESENTATION OF THE APPROVAL PLAN OF DEVELOPMENT. FINAL CONSTRUCTION AND ENGINEERING PLANS MUST DEMONSTRATE COMPLIANCE WITH ALL REQUIREMENTS OF THE PLUPRD AND OTHER APPLICABLE LAND DEVELOPMENT REGULATIONS.

APPROVED: _____
 DATE: _____
 ORDINANCE NUMBER: _____
 FILE NUMBER: _____

NOTE:
 SAN PABLO FOOTBRIDGE EASEMENT SHOWN FOR REFERENCE; FUTURE MDP OR CONSTRUCTION PLANS WILL USE SURVEY BASE LINE WORK.

EXISTING SITE DATA:

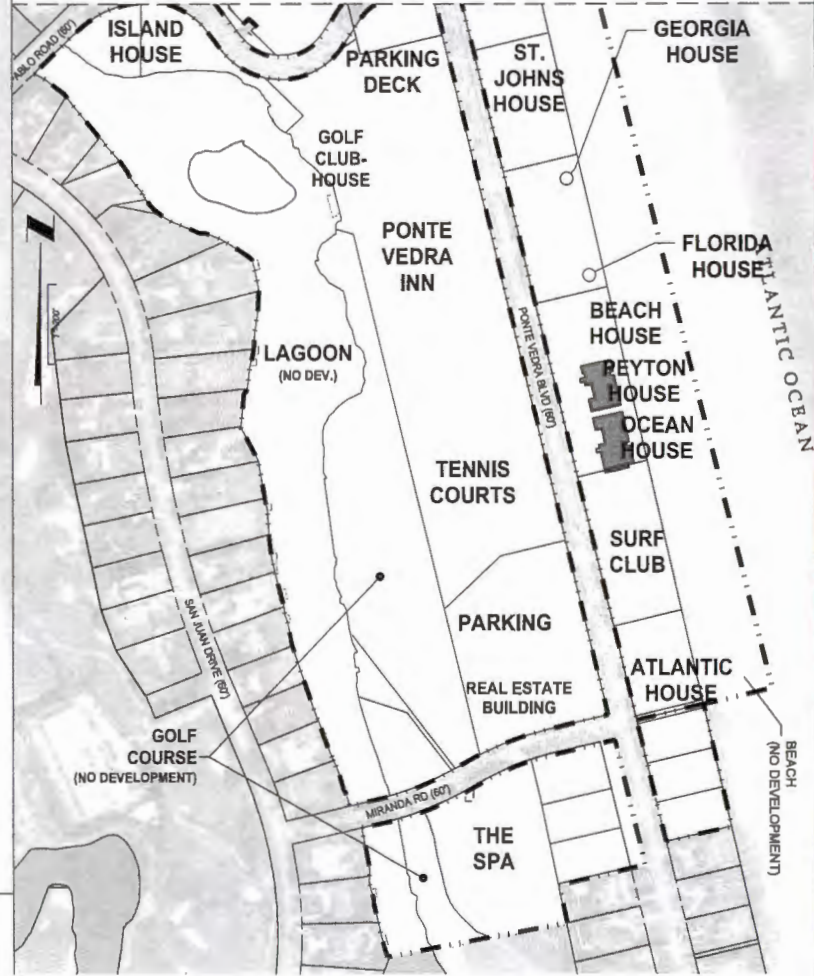
A. ZONING DESIGNATION: PLD
 B. PARCEL ID NUM: 0509100000, 0509100010, 0509100050, 0509100060, 0509000000
 2023-JX

C. PLD ORDINANCE NUMBER: _____
 DATA SUMMARY:
 1. TOTAL PROJECT AREA: 73.97 Ac.
 1.1. PRESERVED WETLANDS: 0.00 Ac.
 1.2. OPEN SPACE (BUFFERS, BEACH): 48.65 Ac. (67%)
 1.3. LAGOON AREA: 9.88 Ac.
 1.A. TOTAL IMPERVIOUS AREA: 17.22 Ac. (24%)

2. MAX. HEIGHT: SEE PLD TEXT, SHEET 8 HEIGHT ZONES
 3. MAX. FLOOR AREA RATIO (FAR): SEE PLD TEXT, SECTION G
 4. MAX. LOT COVERAGE BY BUILDINGS: SEE PLD TEXT, SECTION G

E. VEHICULAR ACCESS:
 THIS MDP MAP DEPICTS THE GENERAL LOCATION OF EXISTING DRIVEWAY CONNECTIONS. THESE EXISTING CONNECTIONS MAY BE MODIFIED THROUGH INCREMENTAL MASTER DEVELOPMENT PLAN APPLICATIONS.

FOR CONTINUATION - SEE BELOW LEFT



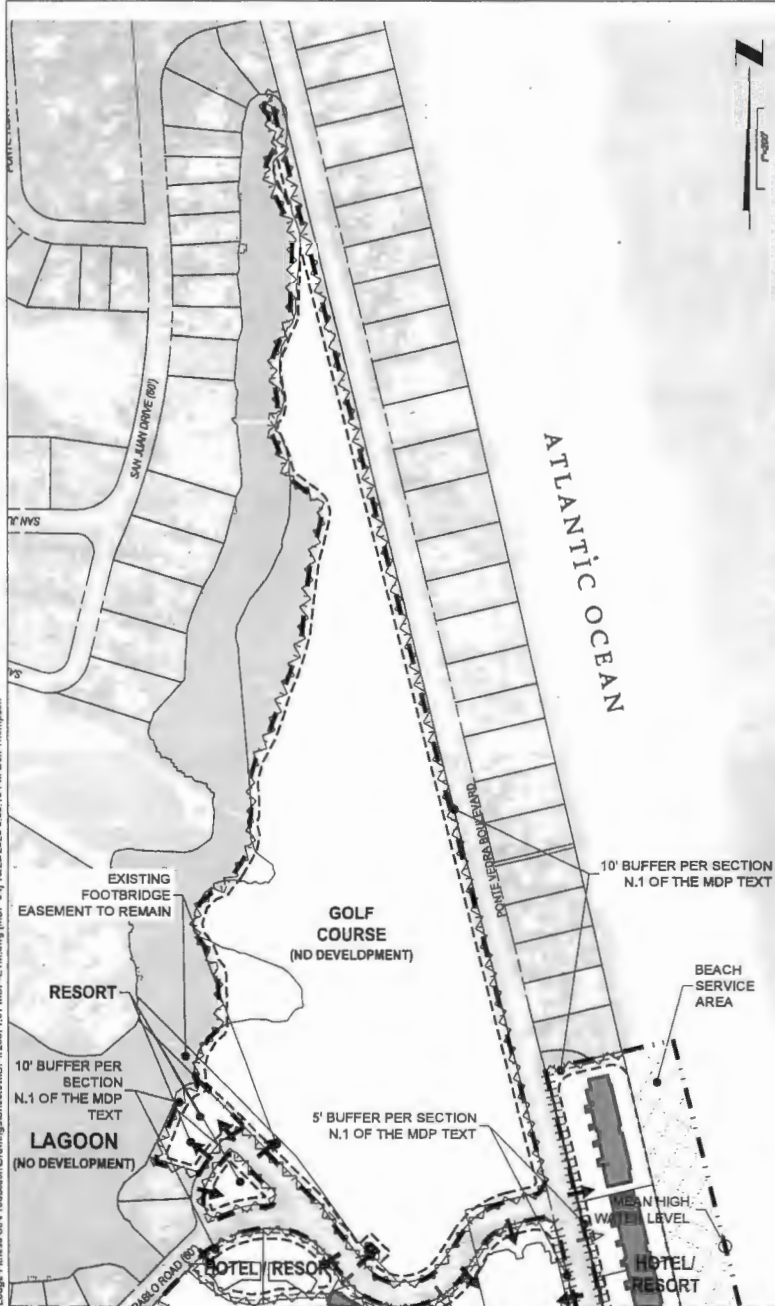
L:\1\2001\2007\01_PV_Lodge_Fitness_CityProduction\Drawings\Streets\MDP\1\01_MDP_ETM.dwg (MDP_03) 10/12/2023 12:35:59 PM Don Thompson
 2022-03-18 pvw_jdm-AesD-bnd

DATE: MARCH, 2023
 PROJECT NO.: 120071.01
 DESIGNED BY:
 DRAWN BY:
 SCALE: SEE PLAN

No.	Date	Revision

SHEET TITLE
**PVIC PROPERTY
 MDP EXISTING
 CONDITIONS**

MDP 03
 SHEET NUMBER



FOR CONTINUATION - SEE ABOVE RIGHT

THE MASTER DEVELOPMENT PLAN MAP IS A GENERAL REPRESENTATION OF THE APPROVAL PLAN OF DEVELOPMENT. FINAL CONSTRUCTION AND ENGINEERING PLANS MUST DEMONSTRATE COMPLIANCE WITH ALL REQUIREMENTS OF THE PLORDP AND OTHER APPLICABLE LAND DEVELOPMENT REGULATIONS.

APPROVED: _____
 DATE: _____
 ORDINANCE NUMBER: _____
 FILE NUMBER: _____

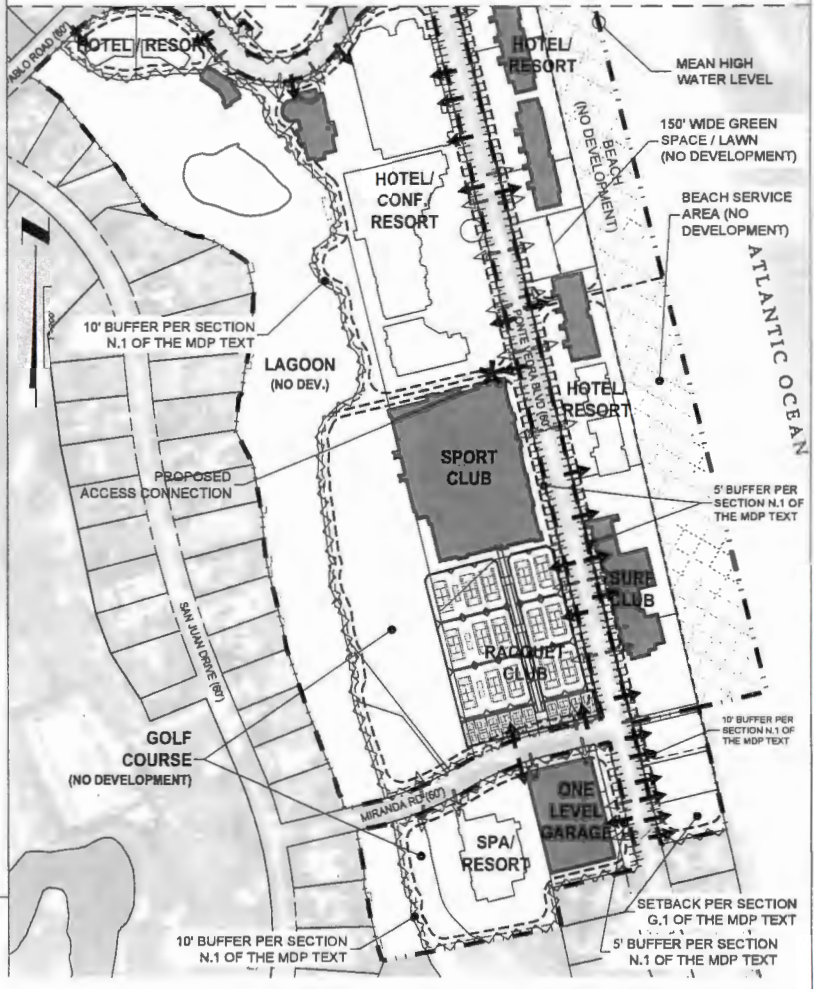
NOTE:
 SAN PABLO FOOTBRIDGE EASEMENT SHOWN FOR REFERENCE; FUTURE MDP OR CONSTRUCTION PLANS WILL USE SURVEY BASE LINE WORK.

LEGEND:

- PLD BOUNDARY
- 5' BUFFER PER MDP TEXT SEC. N.1
- 10' BUFFER PER MDP TEXT SEC. N.1
- EXISTING BUILDING
- PROPOSED BUILDING
- GENERAL LOCATION OF EXISTING SIGNAGE
- GENERAL LOCATION OF EXISTING VEHICULAR ACCESS CONNECTIONS
- GENERAL LOCATION OF EXISTING PEDESTRIAN ACCESS CONNECTIONS
- PROPOSED ACCESS CONNECTIONS

NOTE:
 THIS MDP MAP DEPICTS THE GENERAL LOCATION OF EXISTING DRIVEWAY CONNECTIONS. THESE EXISTING CONNECTIONS MAY BE MODIFIED THROUGH INCREMENTAL MASTER DEVELOPMENT PLAN APPLICATIONS.

FOR CONTINUATION - SEE BELOW LEFT



PONTE VEDRA RESORTS MASTER DEVELOPMENT PLAN

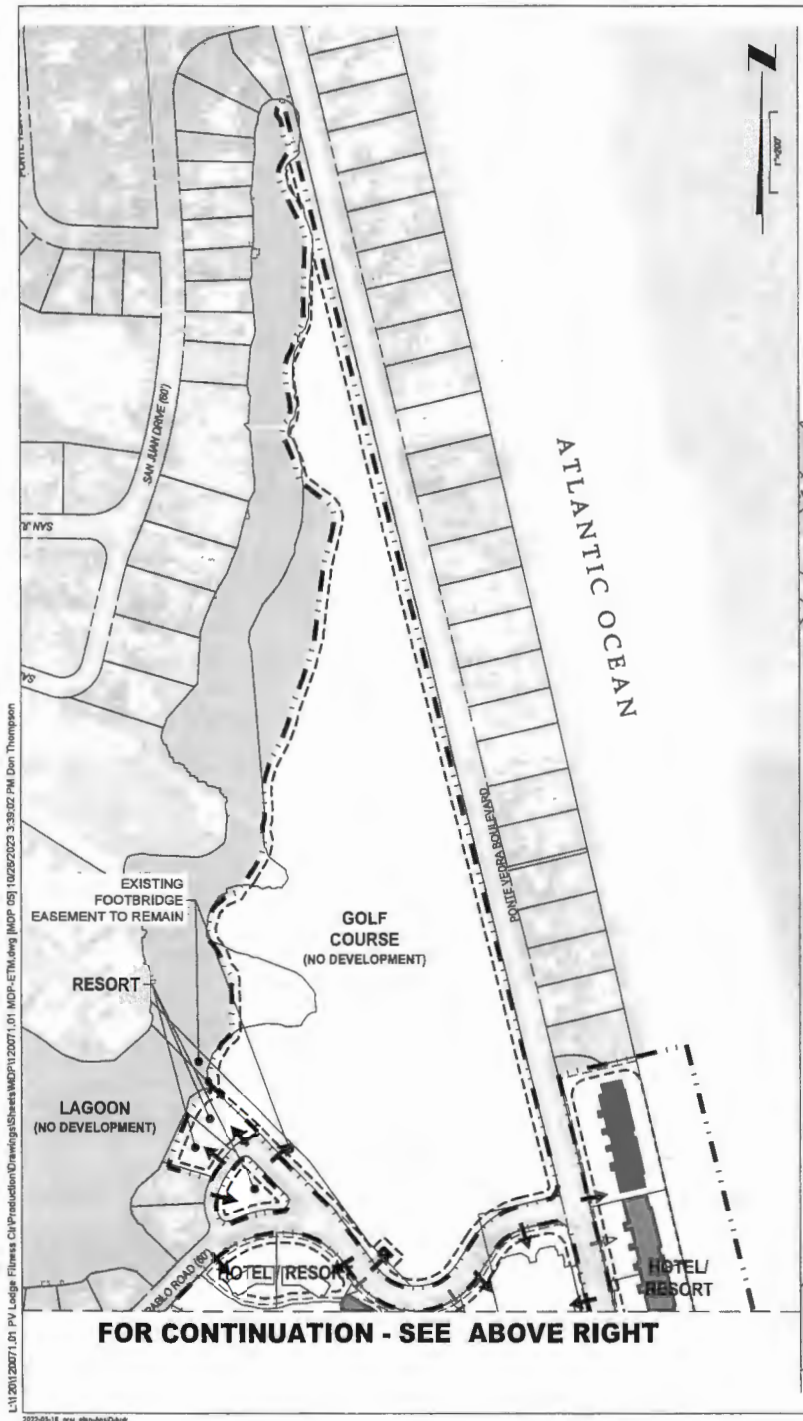
DATE: MARCH, 2023
 PROJECT NO.: 120071.01
 DESIGNED BY: _____
 DRAWN BY: _____
 SCALE: SEE PLAN

No.	Date	Revision

PVIC PROPERTY MDP PROPOSED CONDITIONS

L:\11 2007\1.01 PV Lodge Fitness Ctr\Production\Drawings\Sheets\MDP\1 2007\1.01 MDP-ETM.dwg [MDP 04] 10/25/2023 3:35:16 PM Don Thompson

2022-03-18 pvj_ams\Date



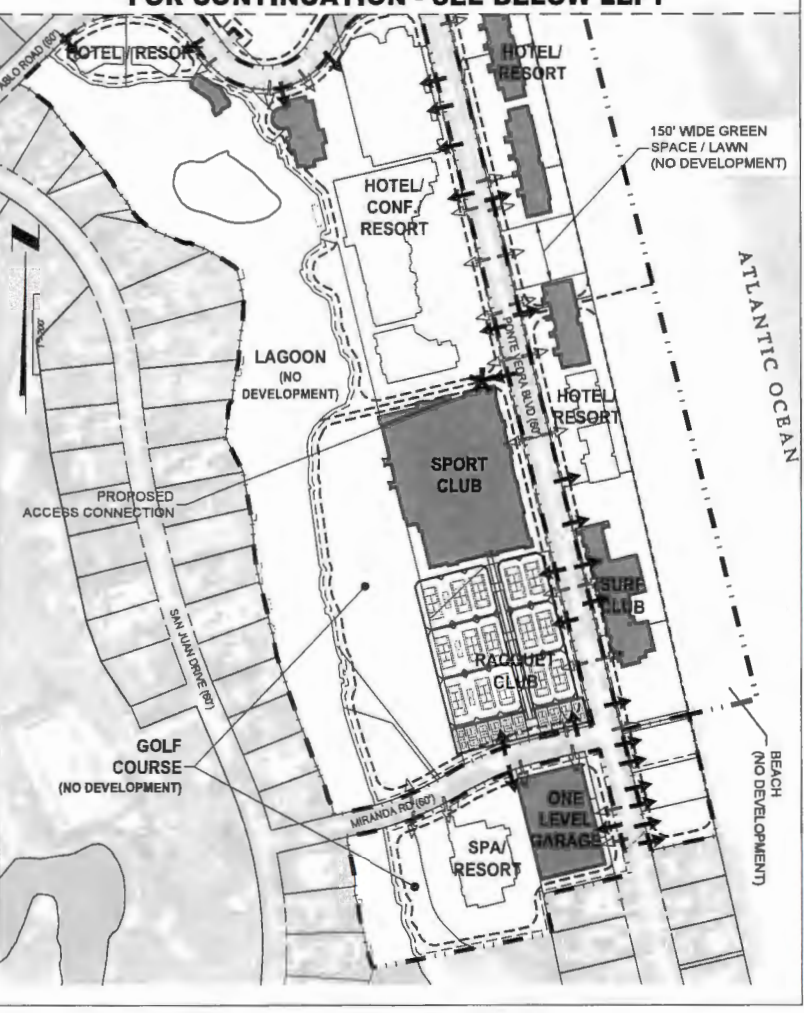
THE MASTER DEVELOPMENT PLAN MAP IS A GENERAL REPRESENTATION OF THE APPROVAL PLAN OF DEVELOPMENT. FINAL CONSTRUCTION AND ENGINEERING PLANS MUST DEMONSTRATE COMPLIANCE WITH ALL REQUIREMENTS OF THE PUDDRD AND OTHER APPLICABLE LAND DEVELOPMENT REGULATIONS.

APPROVED: _____
 DATE: _____
 ORDINANCE NUMBER: _____
 FILE NUMBER: _____

LEGEND:

- PLD BOUNDARY
- ▭ EXISTING BUILDING
- ▭ PROPOSED BUILDING
- ↑ GENERAL LOCATION OF EXISTING VEHICULAR ACCESS CONNECTIONS
- ↑ GENERAL LOCATION OF EXISTING PEDESTRIAN ACCESS CONNECTIONS
- * PROPOSED ACCESS CONNECTIONS

NOTE:
 THIS MDP MAP DEPICTS THE GENERAL LOCATION OF EXISTING DRIVEWAY CONNECTIONS. THESE EXISTING CONNECTIONS MAY BE MODIFIED THROUGH INCREMENTAL MASTER DEVELOPMENT PLAN APPLICATIONS.



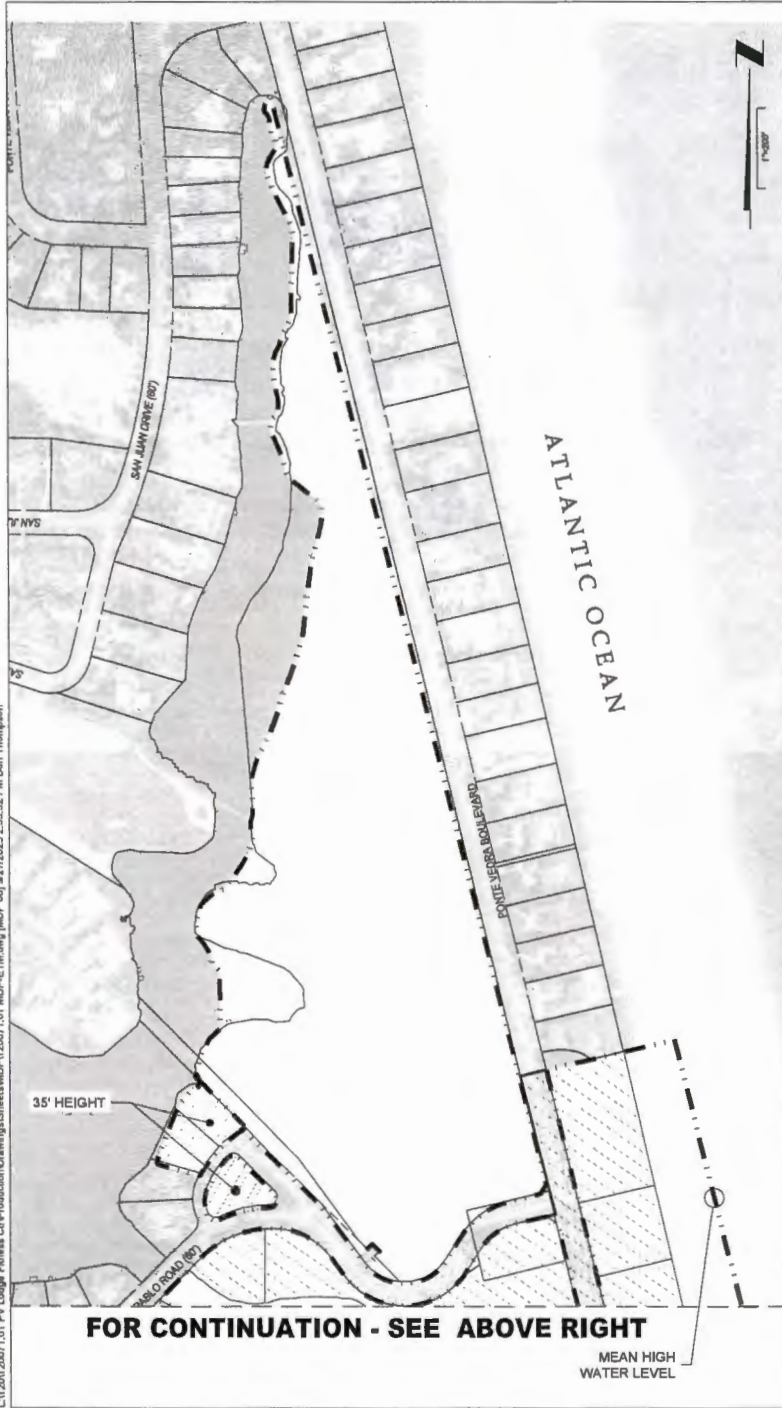
PONTE VEDRA RESORTS MASTER DEVELOPMENT PLAN

DATE : MARCH, 2023
 PROJECT NO. : 120071.01
 DESIGNED BY :
 DRAWN BY :
 SCALE : SEE PLAN

No.	Date	Revision

SHEET TITLE
PVIC PROPERTY MDP ACCESS CONNECTIONS

L:\1\2011\20071_01_PV Lodge\Fitness Cit\Production\Drawings\Sheets\MDP\1\20071_01_MDP-ETM.dwg [MOP_05] 10/25/2023 3:39:02 PM Don Thompson
 2022-03-18 pvu_john-Ann-Dobie



FOR CONTINUATION - SEE ABOVE RIGHT

MEAN HIGH WATER LEVEL

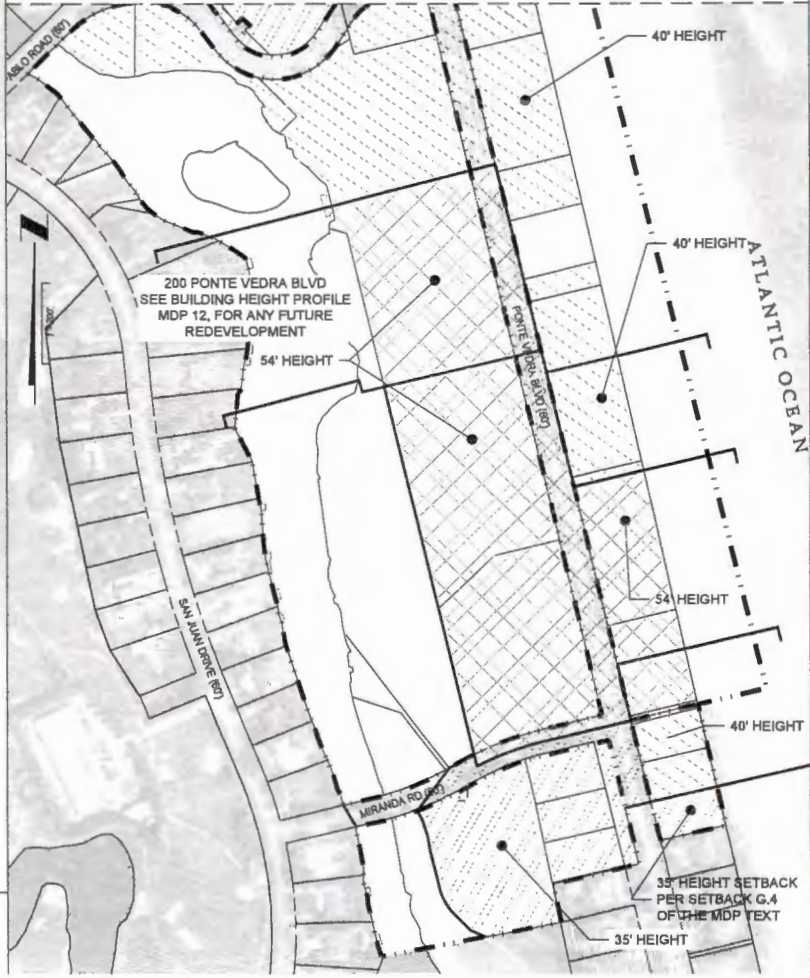
THE MASTER DEVELOPMENT PLAN MAP IS A GENERAL REPRESENTATION OF THE APPROVAL PLAN OF DEVELOPMENT. FINAL CONSTRUCTION AND ENGINEERING PLANS MUST DEMONSTRATE COMPLIANCE WITH ALL REQUIREMENTS OF THE PUDPRD AND OTHER APPLICABLE LAND DEVELOPMENT REGULATIONS.

APPROVED: _____
 DATE: _____
 ORDINANCE NUMBER: _____
 FILE NUMBER: _____

LEGEND:

- HEIGHT ZONE 1 = 40 FEET
- HEIGHT ZONE 3 = 54 FEET
- HEIGHT ZONE 4 = 35 FEET
- PUD ZONE BOUNDARY
- HEIGHT ZONE BOUNDARY

FOR CONTINUATION - SEE BELOW LEFT



PONTE VEDRA RESORTS MASTER DEVELOPMENT PLAN

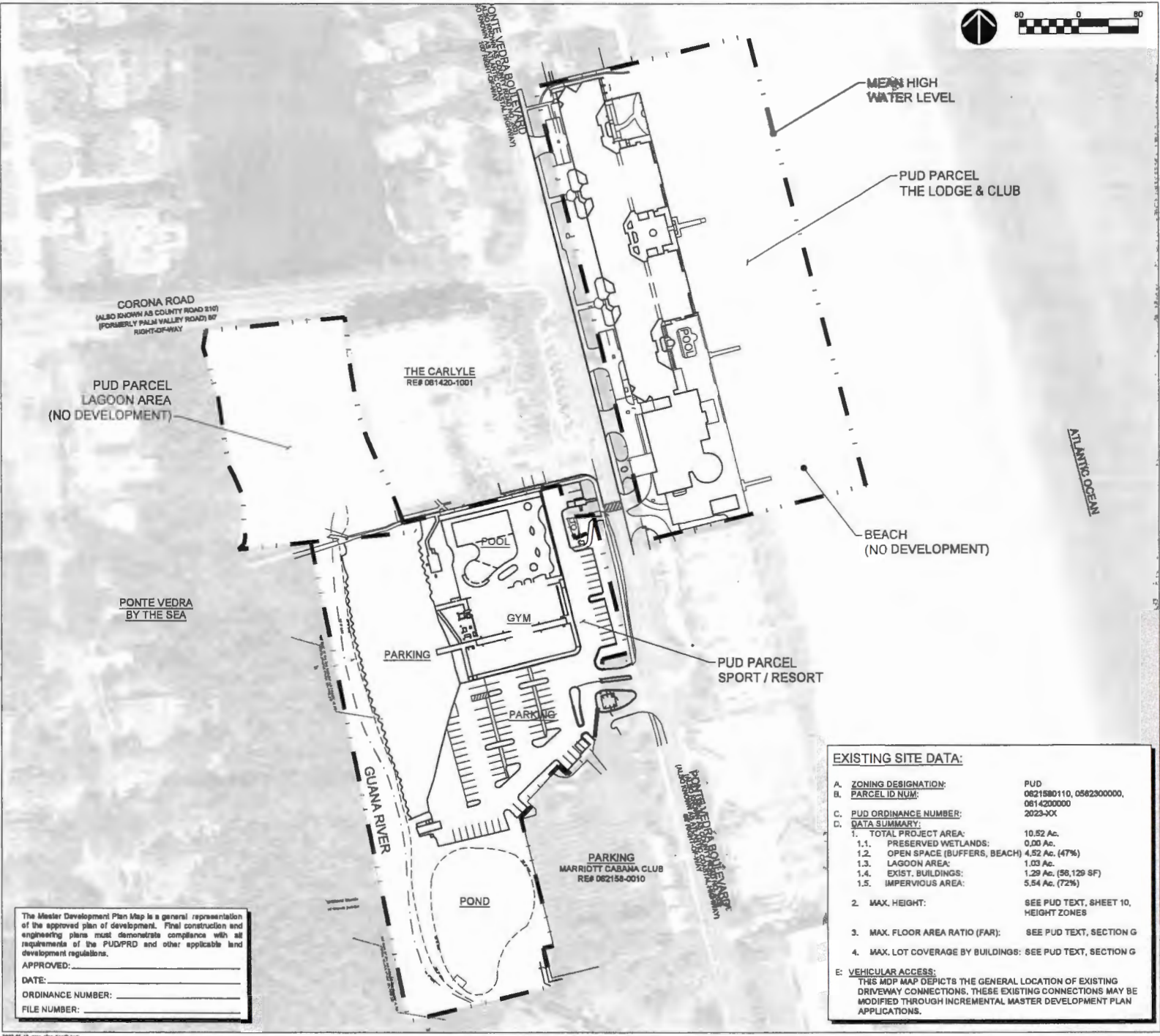
DATE: MARCH, 2023
 PROJECT NO.: 120071.01
 DESIGNED BY:
 DRAWN BY:
 SCALE: SEE PLAN

No.	Date	Revision

SHEET TITLE
PVIC MDP HEIGHT ZONES

MDP 06
 SHEET NUMBER

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 2022-05-18 pv_plo-AreD.dwg



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The Master Development Plan Map is a general representation of the approved plan of development. Final construction and engineering plans must demonstrate compliance with all requirements of the PUD/PRD and other applicable land development regulations.

APPROVED: _____

DATE: _____

ORDINANCE NUMBER: _____

FILE NUMBER: _____

EXISTING SITE DATA:

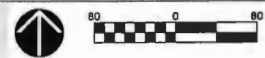
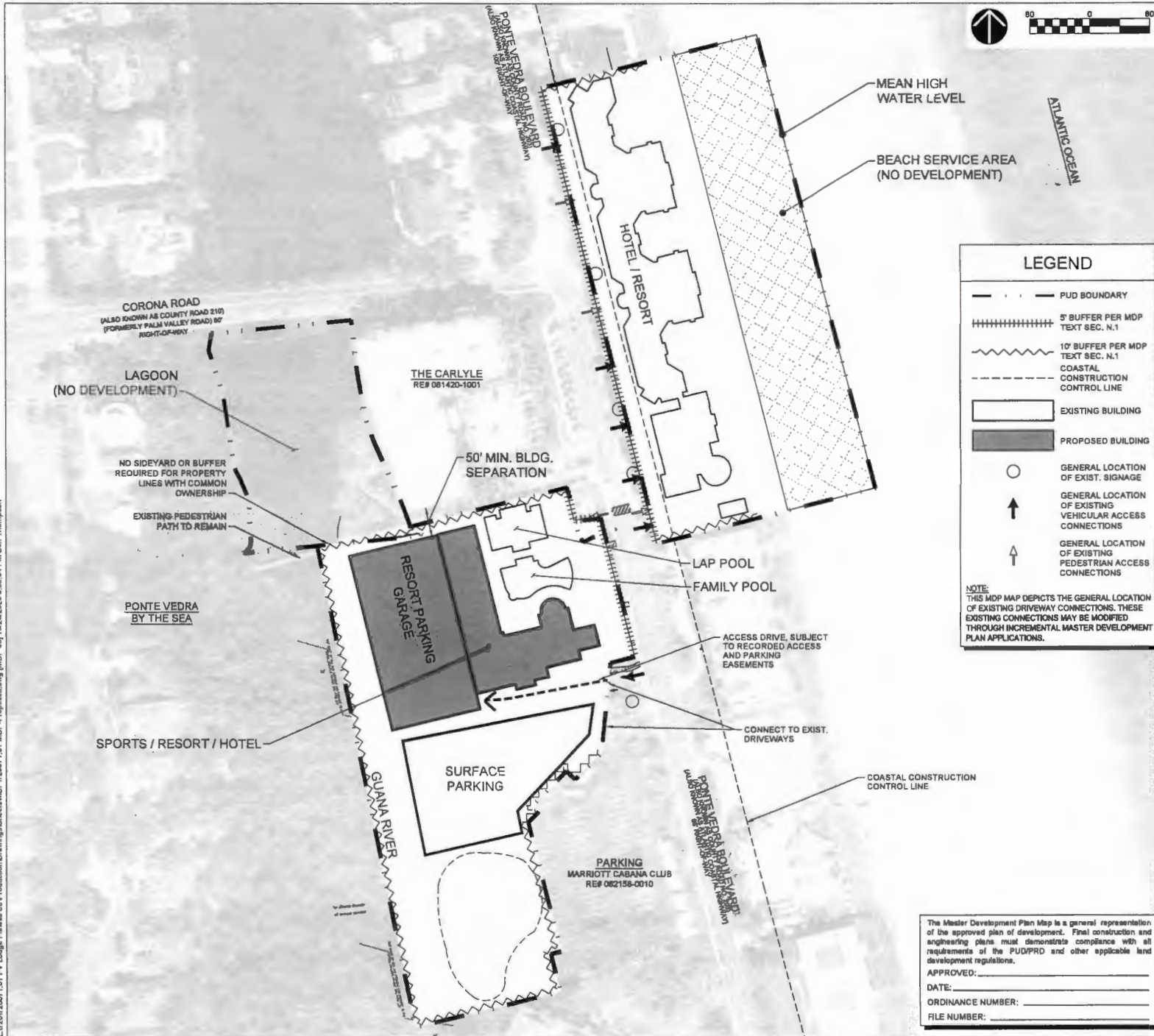
A. ZONING DESIGNATION: PUD
 B. PARCEL ID NUM: 0621580110, 0562300000, 0614200000
 C. PUD ORDINANCE NUMBER: 2023-JXX
 D. DATA SUMMARY:
 1. TOTAL PROJECT AREA: 10.52 Ac.
 1.1. PRESERVED WETLANDS: 0.00 Ac.
 1.2. OPEN SPACE (BUFFERS, BEACH): 4.52 Ac. (47%)
 1.3. LAGOON AREA: 1.03 Ac.
 1.4. EXIST. BUILDINGS: 1.29 Ac. (58,129 SF)
 1.5. IMPERVIOUS AREA: 5.54 Ac. (72%)
 2. MAX. HEIGHT: SEE PUD TEXT, SHEET 10, HEIGHT ZONES
 3. MAX. FLOOR AREA RATIO (FAR): SEE PUD TEXT, SECTION G
 4. MAX. LOT COVERAGE BY BUILDINGS: SEE PUD TEXT, SECTION G
 E. VEHICULAR ACCESS:
 THIS MDP MAP DEPICTS THE GENERAL LOCATION OF EXISTING DRIVEWAY CONNECTIONS. THESE EXISTING CONNECTIONS MAY BE MODIFIED THROUGH INCREMENTAL MASTER DEVELOPMENT PLAN APPLICATIONS.

**PONTE VEDRA
RESORTS
MASTER
DEVELOPMENT
PLAN**

DATE: MARCH, 2023
 PROJECT NO.: 120071.01
 DESIGNED BY:
 DRAWN BY:
 SCALE: SEE PLAN

No.	Date	Revision

**LODGE
PROPERTY MDP
EXISTING
CONDITIONS**



LEGEND

- PUD BOUNDARY
- 5' BUFFER PER MDP TEXT SEC. N.1
- 10' BUFFER PER MDP TEXT SEC. N.1
- COASTAL CONSTRUCTION CONTROL LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- GENERAL LOCATION OF EXIST. SIGNAGE
- GENERAL LOCATION OF EXISTING VEHICULAR ACCESS CONNECTIONS
- GENERAL LOCATION OF EXISTING PEDESTRIAN ACCESS CONNECTIONS

NOTE:
THIS MDP MAP DEPICTS THE GENERAL LOCATION OF EXISTING DRIVEWAY CONNECTIONS. THESE EXISTING CONNECTIONS MAY BE MODIFIED THROUGH INCREMENTAL MASTER DEVELOPMENT PLAN APPLICATIONS.

PONTE VEDRA RESORTS MASTER DEVELOPMENT PLAN

DATE: MARCH, 2023
PROJECT NO.: 120071.01
DESIGNED BY:
DRAWN BY:
SCALE: SEE PLAN

No.	Date	Revision

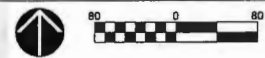
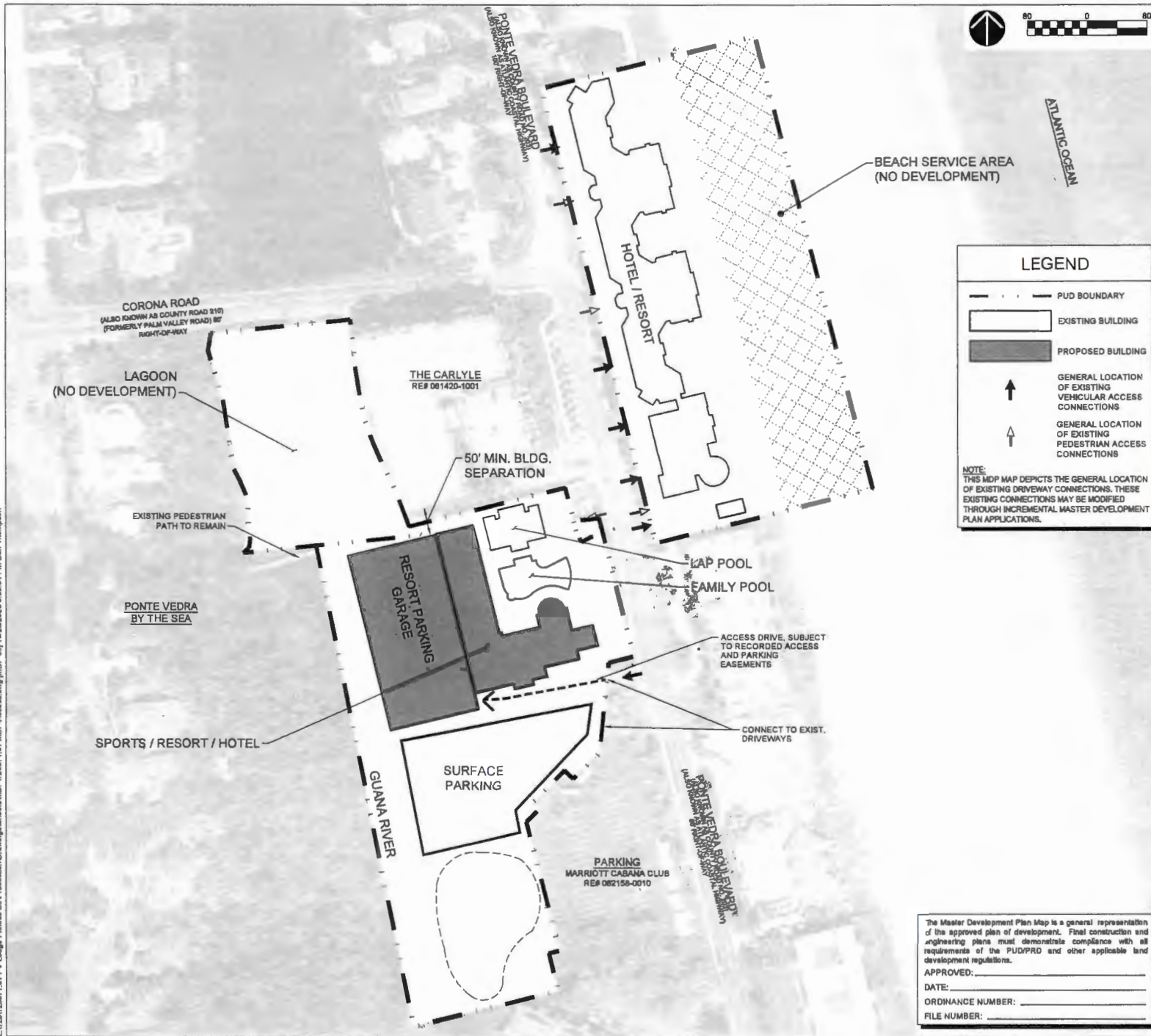
LODGE PROPERTY MDP PROPOSED CONDITIONS

The Master Development Plan Map is a general representation of the approved plan of development. Final construction and engineering plans must demonstrate compliance with all requirements of the PUD/PRD and other applicable land development regulations.

APPROVED: _____
DATE: _____
ORDINANCE NUMBER: _____
FILE NUMBER: _____

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2022-05-18 prc_jln-ArcGis-10



PONTE VEDRA RESORTS
MASTER
DEVELOPMENT
PLAN

LEGEND

- PUD BOUNDARY
- EXISTING BUILDING
- PROPOSED BUILDING
- ↑ GENERAL LOCATION OF EXISTING VEHICULAR ACCESS CONNECTIONS
- ↑ GENERAL LOCATION OF EXISTING PEDESTRIAN ACCESS CONNECTIONS

NOTE:
THIS MDP MAP DEPICTS THE GENERAL LOCATION OF EXISTING DRIVEWAY CONNECTIONS. THESE EXISTING CONNECTIONS MAY BE MODIFIED THROUGH INCREMENTAL MASTER DEVELOPMENT PLAN APPLICATIONS.

DATE: MARCH, 2023
PROJECT NO.: 120071.01
DESIGNED BY:
DRAWN BY:
SCALE: SEE PLAN

No.	Date	Revision

SHEET TITLE
**LODGE
PROPERTY MDP
ACCESS
CONNECTIONS**

The Master Development Plan Map is a general representation of the approved plan of development. Final construction and engineering plans must demonstrate compliance with all requirements of the PUD/PRD and other applicable land development regulations.

APPROVED: _____
DATE: _____
ORDINANCE NUMBER: _____
FILE NUMBER: _____

L:\1\2021\2021.01 PV Lodge Fitness Ch\Production\Drawings\Sheets\MDP\1\20071.01 MDP-Access.dwg (MDP 09) 1026/2023 3:35:54 PM Don Thompson

2022-03-18 pv_john-Ard@bwr

PONTE VEDRA
RESORTS
MASTER
DEVELOPMENT
PLAN



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2022-09-18 pvt_gfho-Aru0-004

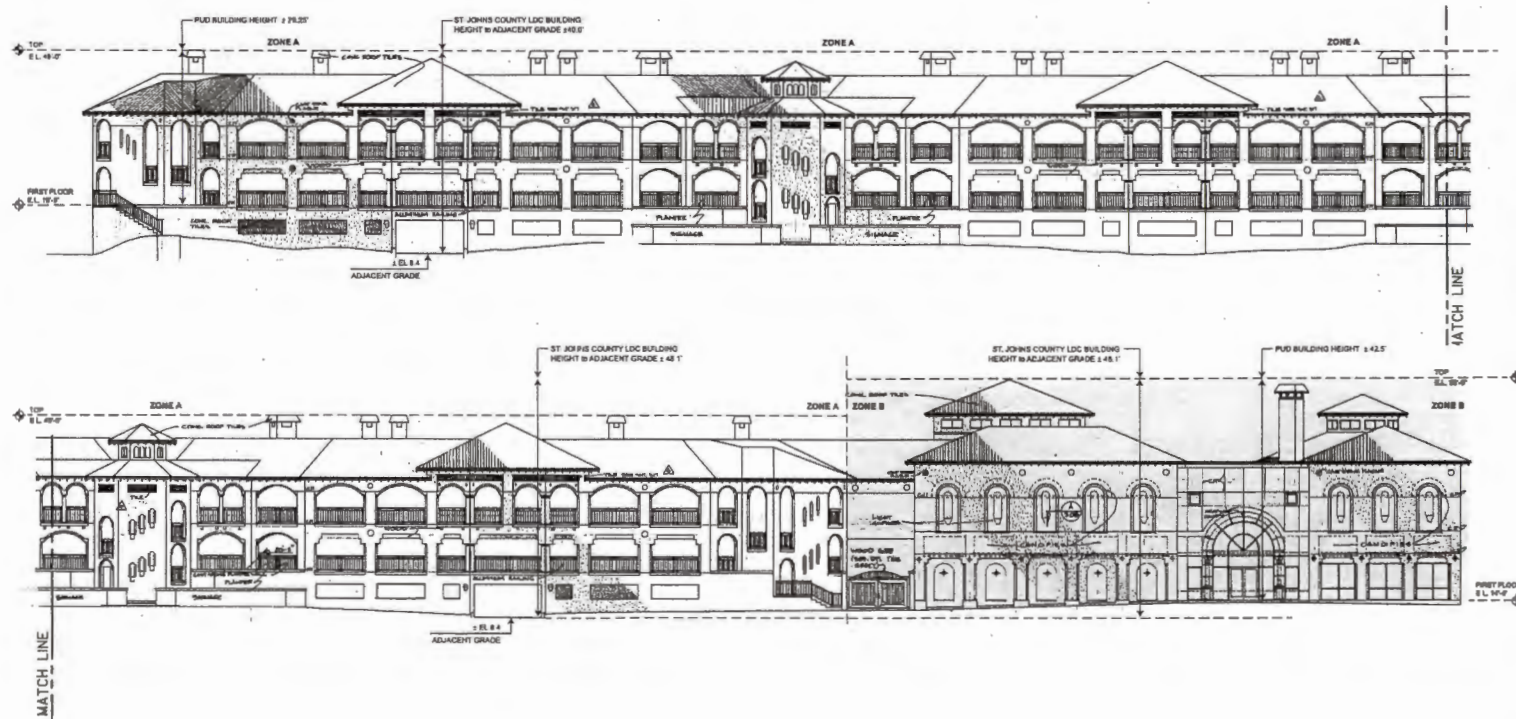
DATE MARCH, 2023
PROJECT NO. : 120071.01
DESIGNED BY :
DRAWN BY :
SCALE: SEE PLAN

No.	Date	Revision

SHEET TITLE
**LODGE
PROPERTY MDP
HEIGHT ZONES**

MDP 10
SHEET NUMBER

PONTE VEDRA
RESORTS
MASTER
DEVELOPMENT
PLAN



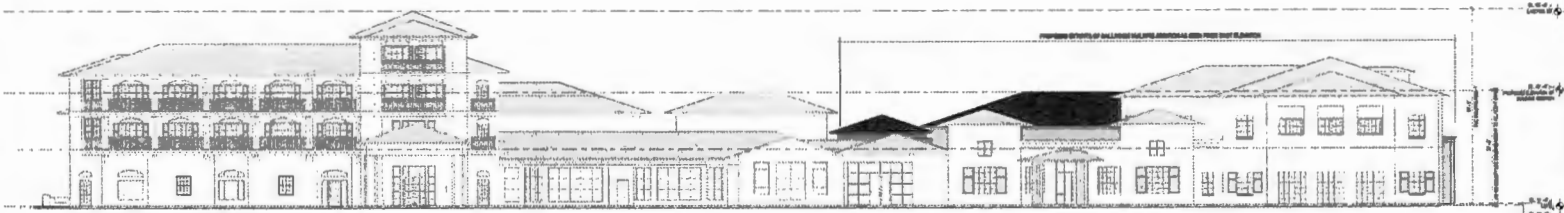
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DATE: MARCH, 2023
PROJECT NO.: 120071.01
DESIGNED BY:
DRAWN BY:
SCALE: SEE PLAN

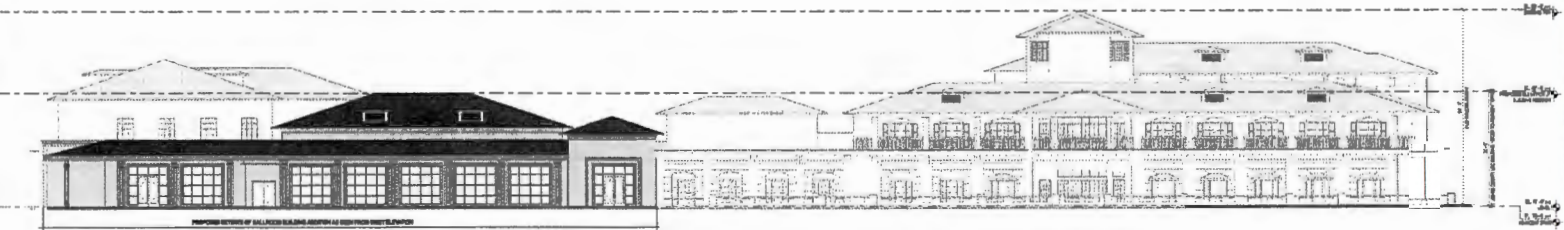
No.	Date	Revision

SHEET TITLE
**EXISTING LODGE
BUILDING HEIGHT
EXHIBIT**

**PONTE VEDRA
 RESORTS
 MASTER
 DEVELOPMENT
 PLAN**



EXISTING HISTORIC INN BUILDING ELEVATION (WEST)
 SCALE: 1/8" = 1'-0"



EXISTING HISTORIC INN BUILDING ELEVATION (EAST)
 SCALE: 1/8" = 1'-0"

DATE: MARCH, 2023
 PROJECT NO.: 120071.01
 DESIGNED BY:
 DRAWN BY:
 SCALE: SEE PLAN

No.	Date	Revision

SHEET TITLE
**EXISTING
 HISTORIC INN
 BUILDING HEIGHT
 EXHIBIT**

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EXHIBIT D

Architectural Styles, Colors and Materials for the Properties

1. PVIC Property

Architectural Character: The building design is derivative of an Arts and Crafts architectural style with Mediterranean and Ponte Vedra charm. The architecture is a balanced composition of varied forms incorporating low-slope hip roofs, tower elements, arches, trellis elements, colonnades and other details into buildings which are picturesque and distinctive to the Ponte Vedra resort. The design elements are configured to seamlessly connect the building interior to the exterior resort and coastal environment with balconies, porches, verandas, and terraces.

Major Architectural Materials and Colors:

1. Walls

- a. Precast architectural concrete panels with brick pattern. Similar in color and tone to:
 - i. Benjamin Moore Winter White OC-21 low luster
- b. Portland cement plaster. Similar in color to:
 - i. Benjamin Moore Winter White OC-21 low luster
- c. Wood siding, Similar in color to:
 - i. Benjamin Moore Winter White OC-21 low luster
- d. Architectural pine logs, similar in color to:
 - i. SW Driftwood flat

2. Windows and Doors

- a. Dark Bronze anodized window frames and door frames or color similar to BM D-118-D gloss
- b. White window frames and door frames, similar in color to:
 - i. Benjamin Moore Winter White OC-21 low luster
- c. Guest room entry doors, similar in color to:
 - i. Custom middle to dark brown mix Faux wood finish
 - ii. BM Yellow Command A-43-A- Gloss
 - iii. Benjamin Moore Winter White OC-21 low luster
- d. Service doors
 - i. BM Driftwood Grey gloss
 - ii. Benjamin Moore Winter White OC-21 low luster

3. Accents and Details

- a. Cast Stone
 - i. Color to match Indian limestone light beige color
- b. Heavy Timber Trellis Elements, roof Rafters and Beams
 - i. Color similar to BM Oxford Brown ES-67
 - ii. BM Driftwood Grey flat
- c. Aluminum Gutters and down spouts
 - i. BM Medium Bronze
- d. Cement Board Soffits, Fascia Boards and Trim
 - i. Color similar to BM Driftwood grey flat
 - ii. Color similar to SW D-118-D flat
 - iii. BM Medium Bronze
- e. Aluminum Railings
 - i. Color similar to SW D-118-D flat
 - ii. BM Medium Bronze
- f. Balustrades
 - i. Color similar to BM Winter White OC-21 low luster
- g. Perforated Designed Guardrail
 - i. Color similar to BM Winter White OC-21 low luster
- h. Wooden Shutters
 - i. Color similar to BM Driftwood Grey flat
- i. Bahama Shutters
 - i. Color similar to SW D-118-D gloss
- j. Fabric Awnings
 - i. Color similar to Gray canvas
 - ii. Color similar to Yellow canvas
- k. Light Fixtures
 - i. Color similar to SW D-118-D gloss
- l. Light Posts
 - i. Color similar to SW D-118-D gloss
- m. Signage
 - i. Signs may include any of the wall and accent materials listed above
 - ii. Corian Endura Alabaster Cement

4. Signs

- i. Color similar to Yellow BM Command A-43-A gloss
- ii. Color similar to BM Driftwood Grey flat
- iii. Color similar to SW D-118-D gloss
- iv. Color similar to SW 6958 Dynamic Blue Super paint satin,
- v. Color similar to SW 6531 Indigo Blue Super Paint Satin
- vi. Color similar to Benjamin Moore Winter White OC-21 low luster

5. Roof

- i. Clay tile - Terra cotta color
- ii. Shake Shingle roof - Natural cedar color / material
- iii. Metal roof – Colors similar to BM 448 "Dakota Shadow", SW Duration Driftwood grey flat, BM Winter White OC-21 low luster, BM Medium Bronze

Depiction of Conceptual Building Design – PVIC Property:



Depiction of Conceptual Building Design - PVIC Property:



Depiction of Proposed Building Design – PVIC Property:



Depictions of Major Architectural Materials and Elements:

Building Finishes



White Masonry Brick



Thin Profile Rectangular Column

Architectural Elements



Cast Stone Balustrade



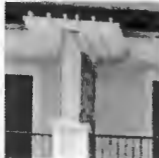
Decorative Metal Grille



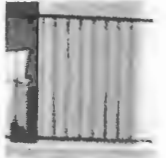
Perforated Designed Guardrail



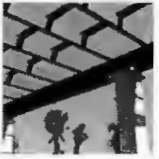
Wood Brackets



Wood Decorative Privacy Screen

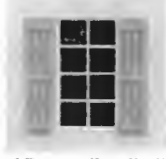


Metal Railing (Thin Pickets)

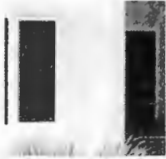


Shade Trellis

Window Treatments



Wood Decorative Shutters



Exterior Door and Window. Finish and Trim to be colored white.

Roofing



Wood Rafter Tail



Clay Tile Roof

Depictions of PVIC Color Palette:

Walls:

1. Winter White – low luster oc-21



2. SW Driftwood Flat



Windows and Doors

1. Dark Bronze anodized



2. BM D-118-D gloss



3. Middle to darker brown wood finish



4. BM Yellow
A-43-A-Gloss



5. BM Driftwood grey gloss



6. Winter White – low luster oc-21



Accents and Details

1. Custom to match Indian Limestone



2. BM Oxford Brown ES-67



3. Medium Bronze



4. BM Driftwood grey



5. BM D-118-D



6. BM Winter White OC-21 low luster



Signs:

1. BM Yellow Command A-43-A gloss



2. BM Driftwood Grey Flat



3. BM D-118-D



4. SW 6958 Dynamic Blue



5. SW 6531 Indigo Blue



6. BM Winter White OC-21 low luster



Roofs:

1. Terra cotta



2. Natural Cedar



3. BM 448 "Dakota Shadow"



4. BM Driftwood Grey flat



5. BM Winter White OC-21 low luster



6. Insert color for medium bronze



2. Lodge Property

Architectural Character: The architectural design of the Lodge and Club will reflect a Contemporary Coastal Mediterranean style that incorporates both traditional and modern elements of the surrounding Ponte Vedra Beach context. The design will use architectural themes and devices to tie into the existing resort campus while presenting a modern style reflective of emerging design trends. The building massing will be proportioned to disguise any structured parking while being articulated with porticos and balconies to enliven the façade with scale and shadow.

Major Architectural Materials and Colors:

1. Walls
 - a. Light stucco tone from a spectrum of fundamental neutral hues ranging from white to tan (colors similar to: SW 7008 "Alabaster", SW 6105 "Divine White", SW 7042 "Shoji White", BM low luster Winter White OC-21, SW Extra White K48 W 51)
2. Windows and doors
 - a. Guest room front doors: Middle to darker brown to evoke old-world wood details. Colors similar to SW Fiery Brown Ultra deep 6055
 - b. Other doors and windows: Colors similar to SW Extra White K48 W 51
3. Accents and details
 - a. Fenestration and decorative elements such as balconies, trellis, awnings, and shutters will be middle to darker brown and evoke old-world details or black. Colors similar to the following: (SW 6143 "Basket Beige", SW 9116 "Serengeti Grass", SW 7069 "Iron Ore", SW II-A-13 "Corbels Dark", SW II-F-3 "Terracotta CU", SW 6942 "Splashy")
4. Roofs
 - a. Clay tile - Terra cotta color
 - b. Shake Shingle roof - Natural cedar color / material
5. Fences and rails
 - a. Wood shadow box fence: Color similar to SW 0041 Dard Hunter Green
 - b. Aluminum railing: Color similar to SW "Tricorn Black" 6258
6. Signs
 - a. Signs may include any of the wall and accent materials listed above, as well as Corian Endura Alabaster Cement
 - b. Signage may include colors similar to:
 - Teal: SW 6942 "Splashy"
 - Dark Gray: SW 6005 "Folkstone"
 - Medium Gray: SW 6004 "Mink"
 - Light Gray: SW 6001 "Grayish"

- Black: SW "Tricorn Black" 6258
- White: SW 7008 "Alabaster", SW 6105 "Divine White", SW 7042 "Shoji White", BM low luster Winter White OC-21

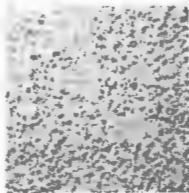
Depiction of Conceptual Building Design - Lodge Property:





Depictions of Major Architectural Materials and Elements:

Building Finishes



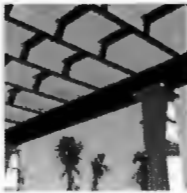
White Stucco on
Concrete Masonry Units

Roof Elements

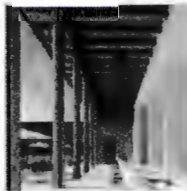


Decorative Rafter Tails

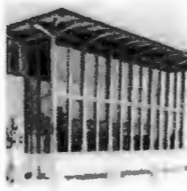
Architectural Elements



Shade Trellis



Covered Portico



Feature window wall

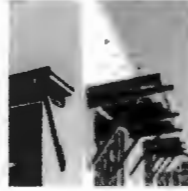
Window Treatments



Decorative Bahama Shutters



Louvers



Aluminum Awning Bracket

Depictions of Lodge Color Palette:

Walls:

1. SW 7008 "Alabaster"



2. SW 6105 "Divine White"



3. SW 7042 "Shoji White"



4. BM low luster Winter White OC-21



5. SW Extra White K48 W 51



Windows and Doors:

1. SW Fiery Brown Ultra deep 6055



2. SW Extra White K48 W 51



Accents and details:

1. SW 6143 "Basket Beige"



2. SW 9116 "Serengeti Grass"



3. SW 7069 "Iron Ore"



4. SW 6942 "Splashy"



5. SW II-A-13 Corbels Dark



6. SW II-F-3 "Terracotta CU"



Roofs:

1. Terra cotta



2. Natural Cedar



Fences and Rails:

1. SW 0041 "Dard Hunter Green"



2. SW 6258 "Tricorn Black"



Signs:

1. SW 6942 "Splashy"



2. SW 6005 "Folkstone"



3. SW 6004 "Mink"



4. SW 6001 "Grayish"



5. SW "Tricorn Black" 6258



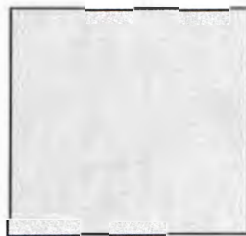
6. SW 7008: "Alabaster"



7. SW 6105 "Divine White"



9. SW 7042 "Shoji White"



10. BM Low Luster
Winter White OC-21



PONTE VEDRA RESORTS UNIFIED SIGN PLAN



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Narrative

This Unified Sign Plan ("USP") has been developed to ensure the public health, safety and welfare of the community. To accomplish this goal, various sign types will be utilized throughout the Project and within the boundaries of the Ponte Vedra Resorts Planned Unit Development ("PUD"). Unless otherwise stated herein, signage within the Ponte Vedra Resorts PUD will meet the requirements of the Ponte Vedra Zoning District Regulations ("PVZDR") and the Land Development Code ("LDC") for St. Johns County in effect on the date of this USP approval. Finally, the Unified Sign Plan nor the PUD text shall make any existing sign non-compliant. All existing signs may remain as is, while future signs must comply with this document.

Careful consideration has been given to the type and placement of the signage to ensure an appealing, unified theme throughout the development.

The following types of signs/structures will be used:

- Project Entrance Monument Signs
- Resort Commercial Identity Monument Signs
- Wall Signs
- Street and Traffic Signs
- Flags
- Project Construction Signs
- Temporary Signs
- Special Use Signs
- Directional Signs

General Parameters

A general coordinated theme will be established for the PUD's signage for the PVIC Property and the Lodge Property (as defined in the PUD) that will provide a logical hierarchy of signage to be used throughout the Project. Signs may be incorporated into a wall, fence, tower or other structure and may include decorative aspects such as architectural features, waterfalls, columns etc., consistent with the overall theme of the development.

For purposes of this USP, any sign located within the boundaries of the overall Ponte Vedra Resorts PUD will be considered an "on-premise sign", as this term is defined and regulated in the LDC, without regard to ownership of individual parcels so long as the sign content is relevant only to development within the PUD. However, the USP will be applicable to any properties that may be added to Ponte Vedra Resorts PUD in the future. The height of the signs as defined in this document will mean the total height of the sign, including the Advertising Display Area ("ADA") and all associated sign structure and other decorative features.

ADA Shape and Materials

The ADA is defined by the smallest geometric shape that may be used to encompass all advertising lettering. The ADA shape may be in the form of a square, rectangle, circle, oval or other geometric pattern. The lettering may be mounted on inserts or panels to be attached to a sign structure or building face, may be pin mounted or channel mounted lettering, surface mounted, painted on, sandblasted onto the surface material, or engraved into a surface. A combination of materials may be utilized in conjunction with a variety of style types.

Signage Materials and Design

GROUND SIGNS

Sign structures may be constructed of metal, wood, masonry, brick or stone, excluding pole signs. Sign structures will reflect the existing style of the adjacent buildings. Ground signs shall comply with applicable provisions of PVZDR section VIII.Q.5.c. and LDC section 7.02.04.C. Lighting shall comply with applicable requirements of LDC Section 7.10.01.A. and PVZDR Section VIII.Q.5.d.4. Sidewalk signs shall be located as to not block accessibility routes of 36 inch minimum width.

Colors for all of the signage will utilize the color palette for the resort Property approved in this PUD, see Exhibit D. All other sign colors are subject to the review and approval of the owner and staff.

Other elements may be incorporated into a sign and be an integral part of the signage. These may include such structures as planters, walls, fences, a pond or waterfalls, coping, banding, capstones and columns, etc. The architectural elements enhance the overall signage presentation and help foster the unified signage theme.

Signs may be lighted via either internal or external illumination. Lighting shall be white in color.

WALL SIGNS

Wall signs will comply with the Commercial District Regulations of Section X of the Ponte Vedra Zoning Regulations. When a building is divided into multiple commercial or service uses, each use shall be recognized as a separate business unit and shall be afforded one wall sign as specified in the Commercial District Regulations.

Approximate sign locations may be shown on the Sign Locations Map. Sign locations shown on the aforementioned plans are approximate and actual locations may vary according to field conditions or to prevent conflict with existing or planned utilities.

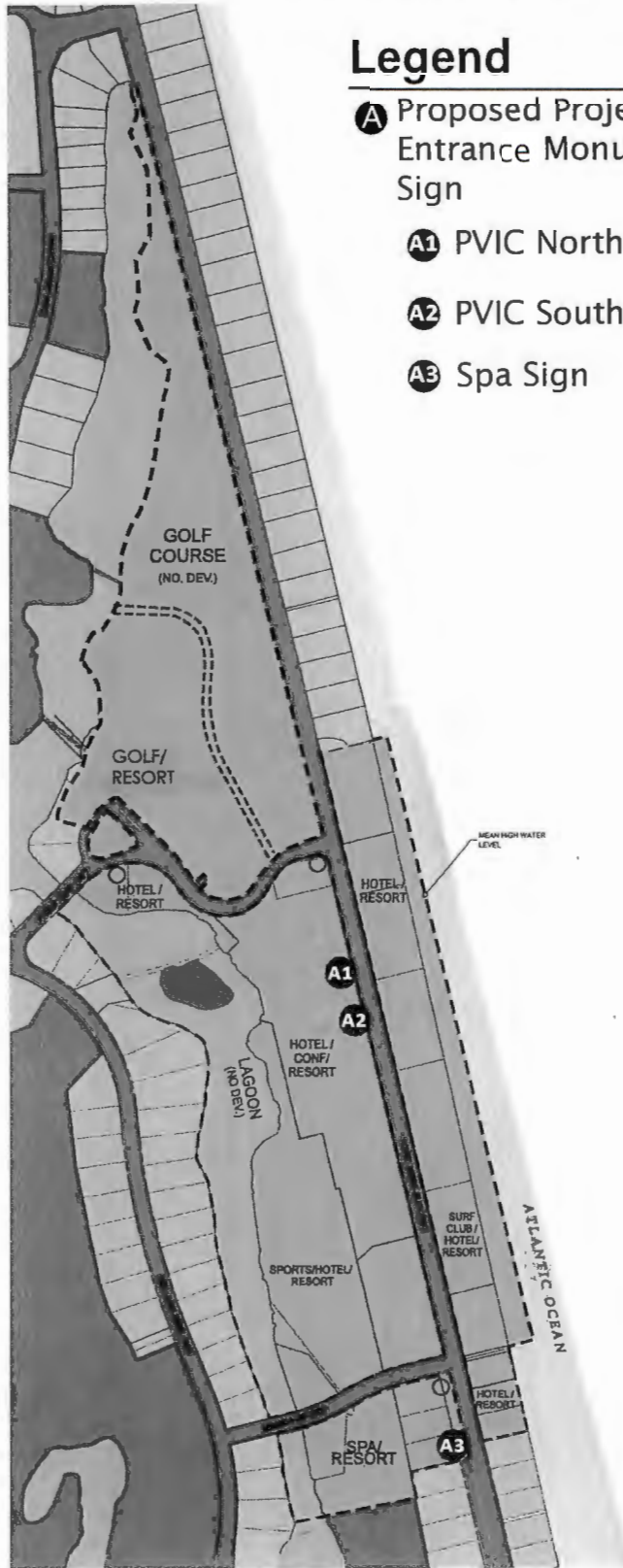
Description of Signage

The proposed ground and wall signs are summarized in the written description below:

SIGNAGE STANDARDS					
Key	Sign Type	General Location	Proposed Quantity	Max. ADA per Side (SF)	Max. Height (feet)
A	Project Entrance Monument Sign at PVIC	Main Entrance North Facing & South Facing, Golf Course, Spa Location	3	80 SF	10'
B	Resort Commercial Identity Monument at PVIC	Various Building Locations.	3	40 SF	10'
C	Resort Commercial Amenity & Retail Identity Wall Signs at PVIC	Various Building/Retail Locations.	As Needed	Per PVZDR	Per PVZDR
	Resort Commercial Spa Wall				
	Resort Commercial Retail Wall				
I	Directional & Wayfinding at PVIC	Various Locations	As Needed	3 SF	3'
J	Project Entrance Monument at Lodge	At Main Entrances	3	40 SF	8'
K	Building Signs at Lodge	At Building Entrances	4	40 SF	25'
L	Directional/Wayfinding at Lodge	As Needed	As Needed	3 SF	3'

Note: Final design, finish and materials will be determined at construction plan approval.

Signage Location Map - PVIC Property

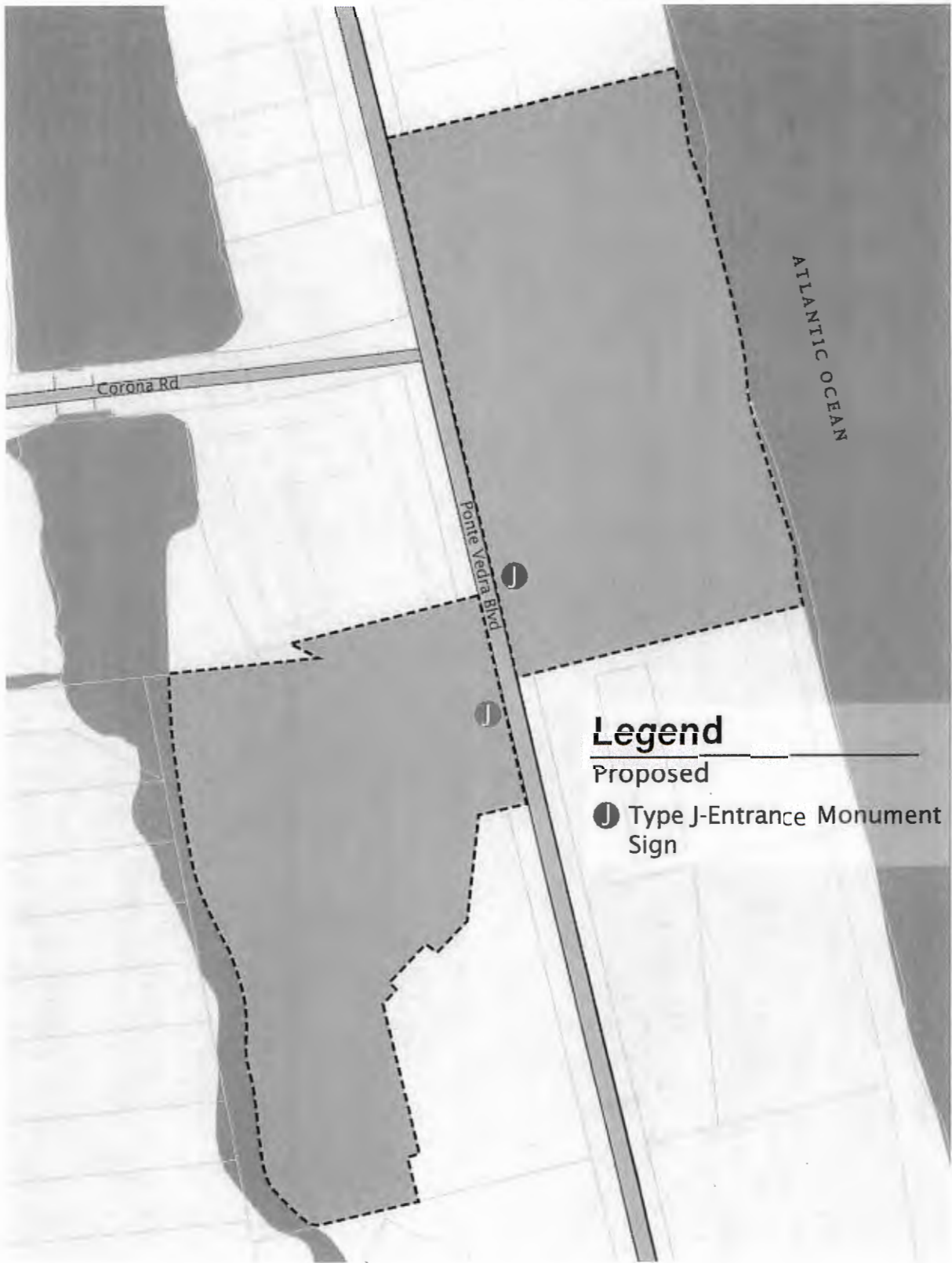


Legend

- A** Proposed Project Entrance Monument Sign
- A1** PVIC North Sign
- A2** PVIC South Sign
- A3** Spa Sign

UNIFIED SIGN PLAN
EXHIBIT "E"

Signage Location Map - Lodge Property



Project Signage

A - Project Entrance Monument Sign(s)

Sign Description

For purposes of application of the LDC, Project Entrance Monument Signs will be considered "on-premises signs" as regulated by LDC Section 7.02.00. Project entrance monument signs will be allowed as identified on the Unified Sign Plan Map. These signs shall identify primary project entrance on Ponte Vedra Boulevard. Each project monument sign location, as depicted on the Map, may consist of either one double-faced sign or two single-faced signs located on either side of the gateway/resort entrance.

Sign Type A permits a ground or monument sign not to exceed height of ten (10) feet and not to exceed a total of 160 square feet or 80 square feet per side.

Materials

Wood, metal, masonry, fiber cement, brick or stone

Mounting

Ground mounted, structure to extend into engineered footing.

Lighting

Top mounted lighting or internal illumination; both white in color.

Existing Project Entrance Monument Sign



Proposed Project Entrance Monument Sign



B – Resort Commercial Identity Monument Signs

Sign Description

Each outparcel/Resort Building will be afforded one business identification sign along Ponte Vedra Boulevard and one sign along the internal road or drive aisle. The identity monument shall be subject to the criteria below.

This sign group includes the Business Identification Sign and Internal Business Identification Sign in the hierarchy of the Unified Sign Plan. Signs on Ponte Vedra Boulevard shall not exceed ten (10) feet in height and a total of 80 square feet or 40 square feet/ per side of ADA. Signs along internal roads or drive aisles shall not exceed five (5) feet in height and 30 square feet in ADA. Refer to Section T, Waivers 15 and 16, PUD text.

Materials

Wood, metal, masonry, fiber cement, brick or stone

Mounting

Ground mounted, structure to extend into engineered footing.

Lighting

Top mounted lighting or internal illumination; both white in color.

Existing Resort Commercial Identity Monument Sign



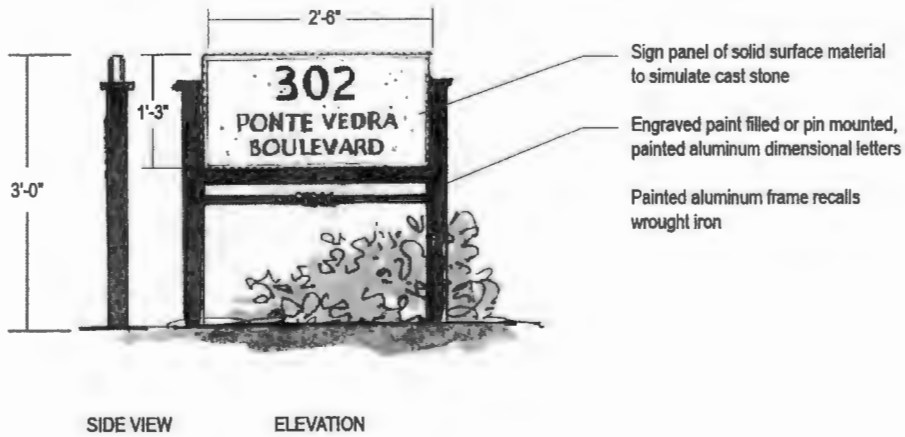
Existing Resort Commercial Identity Ground Sign



Proposed Resort Commercial Identity Ground Sign



EXAMPLE MESSAGE ALTERNATES



UNIFIED SIGN PLAN

EXHIBIT "E"

C- Resort Commercial Amenity and Retail Identity Wall Signs

Sign Description

Wall Signs shall comply with District Regulations Section X, R-3 Commercial and R-4 Recreational District.

This sign group includes Wall Signs which may be located on both front and side Streets. The total Wall Sign area for each Building shall not exceed a total of 24 square feet per face except with separate business units. When a building is divided into multiple commercial or service uses, each use shall be recognized as a separate business unit and shall be afford one Wall Sign as specified in the Commercial District Regulations.

Materials

Colors and materials of Wall Signs shall be compatible with the architectural style of the related commercial resort building.

Mounting

Directly mounted on the surface of the Building and shall not be mounted on raceways or other protrusions from the surface of the building.

Lighting

Top mounted lighting or internal illumination; both white in color.

Existing Resort Commercial Identity Wall Sign



D - Street and Traffic Signs

Sign Description

Street and traffic signs will be installed to comply with all laws, codes and ordinances with regard to size and location. The style will be consistent with other traffic signage throughout the County or may include powder coated flat black post and black painted back panels and frame edges.

Existing Street and Traffic Signs



E - Flags

Sign Description

Up to four (4) permanent flags may be flown with the PUD. For purposes of this USP, a building site shall be defined as a unit of property that is owned, leased, or rented and serves as an occupied place of business within the PUD. Flagpole heights shall not exceed 30 feet. Flags are considered Exempted Signs in the PVZDR. Temporary flags will comply with the requirements of LDC Sections 7.02.02, 7.02.03 and 7.02.06.

F - Project Construction Sign

Sign Description

Project construction signs will be considered temporary signs and installed in accordance with LDC Sections 7.02.02 and 7.02.03. Such signs are considered Exempted Signs in the PVZDR.

G - Temporary Sign

Sign Description

Temporary signs will be allowed and installed in accordance with LDC Sections 7.02.02 and 7.02.03.

H - Special Use Sign

Sign Description

Special event signs will be allowed and installed in accordance with LDC Sections 7.05.00 and 7.02.03.

I - Directional & Wayfinding at PVIC

Sign Description

Wayfinding, address and directional signs shall be allowed to provide patrons with directional information regarding uses and tenants within the PUD. Wayfinding, address and directional signs shall be permitted with a maximum of three (3) square feet and shall not exceed three (3) feet in height as outlined in the Land Development Code. Tenants may erect directional signs to provide patrons with directional information regarding the specific use (i.e., drive thru direction).

Examples of current Wayfinding and Directional signs are provided below for reference.

Existing Ground Signage



Materials

Wood, metal, masonry, fiber cement, brick or stone

Mounting

Ground mounted, structure to extend into engineered footing.

Lighting

Top or ground mounted lighting or internal illumination; both white in color.

J - Resort Commercial Identity Ground Sign

Sign Description

Each project monument sign location, as depicted on the Map in red, may consist of either one double-faced sign or two single-faced signs located on either side of the main entrance(s).

Sign Type J permits a ground or monument sign not to exceed height of 8 feet and a maximum total signage face area of 40 sq.ft.

Materials

Wood, metal, masonry, fiber cement, brick or stone

Mounting

Ground mounted, structure to extend into engineered footing.

Lighting

Top mounted lighting or internal illumination; both white in color.

Existing Ground Signage



Existing Ground Signage Cont'd



K- Resort Commercial Identity & Amenity Wall Signs

Sign Description

Wall Signs shall comply with District Regulations Section X, R-3 Commercial and R-4 Recreational District.

This sign group includes Wall Signs which may be located on both front and side Streets. The total Wall Sign area for each Building shall not exceed a total of 24 square feet per face except with separate business units.

Materials

Colors and materials of Wall Signs shall be compatible with the architectural style of the related commercial resort building.

Mounting

Directly mounted on the surface of the Building and shall not be mounted on raceways or other protrusions from the surface of the building.

Lighting

Top mounted lighting or internal illumination; both white in color.

Existing Building Signage



L - Business Identification

Sign Description

This sign group includes the Business Identification Sign fixed onto the building structures and Internal Business Identification Sign.

Existing Directional Signage



UNIFIED SIGN PLAN
EXHIBIT "E"

I HEREBY CERTIFY THAT THIS DOCUMENT IS A TRUE AND CORRECT COPY AS APPEARS ON RECORD IN ST. JOHNS COUNTY, FLORIDA WITNESS MY HAND AND OFFICIAL SEAL THIS 14th DAY OF Nov 2023 CLERK OF THE CIRCUIT COURT AND COMPTROLLER



BY: R. Kelly D.C.

M - Supplemental Signs

I HEREBY CERTIFY THAT THIS DOCUMENT IS A TRUE AND CORRECT COPY AS APPEARS ON RECORD IN ST. JOHNS COUNTY, FLORIDA. WITNESS MY HAND AND OFFICIAL SEAL THIS 14th DAY OF November 2023



ST. JOHNS COUNTY CLERK OF COURT
Ex-Officio Clerk of the Board of County Commissioners

By: Crystal Smith Deputy Clerk

Type M -1
Wayfinding

Wayfinding, address and directional signs shall be allowed to provide patrons with directional information regarding uses and tenants within the PUD. Wayfinding, address and directional signs shall be permitted with a maximum of three (3) square feet and shall not exceed three (3) feet in height as outlined in the Land Development Code. Tenants may erect directional signs to provide patrons with directional information regarding the specific use (i.e., drive thru direction).

Type M -2
Flagpoles

Up to three permanent flags may be flown per building site, as specified in LDC Section 7.02.06. Flagpole heights shall not exceed 30 feet.

Type M -3
Project Construction Sign

Project construction signs will be considered temporary signs and installed in accordance with LDC Sections 7.02.02 and 7.02.03.

Type M -4
Temporary Sign

Temporary signs will be allowed and installed in accordance with LDC Sections 7.02.02 and 7.02.03.

Type M -5
Special Use Sign

Special event signs will be allowed and installed in accordance with LDC Sections 7.05.00 and 7.02.03.

Type N
Traffic Signs

Street and traffic signs will be installed to comply with all laws, codes and ordinances with regard to size and location. The style will be consistent with other traffic signage throughout the County or may include powder coated flat black post, black painted back panels and frame edges.

LOCALiQ

FLORIDA

PO Box 631244 Cincinnati, OH 45263-1244

PROOF OF PUBLICATION

Marie Colee
ELLEN AVERY-SMITH
100 Whetstone PL # 200
Saint Augustine FL 32086-5775

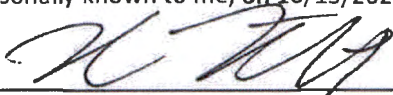
STATE OF WISCONSIN, COUNTY OF BROWN

Before the undersigned authority personally appeared, who on oath says that he or she is the Legal Coordinator of the St Augustine Record, published in St Johns County, Florida; that the attached copy of advertisement, being a Classified Legal CLEGL, was published on the publicly accessible website of St Johns County, Florida, or in a newspaper by print in the issues of, on:

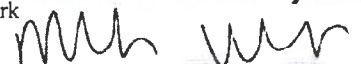
10/13/2023

Affiant further says that the website or newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

Subscribed and sworn to before me, by the legal clerk, who is personally known to me, on 10/13/2023



Legal Clerk



Notary, State of WI, County of Brown

87576

My commission expires

Publication Cost: \$293.76
Order No: 9393984 # of Copies:
Customer No: 784746 0
PO #:

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

MARIAH VERHAGEN
Notary Public
State of Wisconsin

NOTICE OF A PROPOSED REZONING

NOTICE IS HEREBY GIVEN that a public hearing will be held on 11/7/2023 at 9:00 am before the Board of County Commissioners in the St. Johns County Auditorium located at 500 San Sebastian View, St. Augustine, Florida to consider a Request to rezone approximately 90.5 acres of land from Open Rural (OR), Single Family Residential District (R-1-B), Single Family Residential District (R-1-C), Multiple Family Residential District (R-2), Commercial District (R-3), and Recreational District (R-4) to Planned Unit Development (PUD).

AN ORDINANCE OF THE COUNTY OF ST. JOHNS, STATE OF FLORIDA, REZONING LANDS AS DESCRIBED HEREINAFTER FROM THE PRESENT ZONING CLASSIFICATION OF OPEN RURAL (OR), SINGLE FAMILY RESIDENTIAL DISTRICT (R-1-B), SINGLE FAMILY RESIDENTIAL DISTRICT (R-1-C), MULTIPLE FAMILY RESIDENTIAL DISTRICT (R-2), COMMERCIAL DISTRICT (R-3), AND RECREATIONAL DISTRICT (R-4) TO PLANNED UNIT DEVELOPMENT (PUD); MAKING FINDINGS OF FACT; REQUIRING RECORDATION; AND PROVIDING AN EFFECTIVE DATE.

The subject property is located on Ponte Vedra Boulevard. See attached map (Exhibit A). This file and the proposed ordinance are maintained in the Planning and Zoning Division of the Growth Management Department located at the St. Johns County Permit Center, 4040 Lewis Speedway, St. Augustine, Florida 32084 and may be inspected by interested parties prior to said public hearing. Items not heard by 6 pm shall automatically be continued until 9 am the following day, unless otherwise directed by the Board.

Interested parties may appear at the meeting and be heard with respect to the proposed ordinance.

If a person decides to appeal any decision made with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

This matter is subject to court imposed quasi-judicial rules of procedure. Interested parties should limit contact with the Board of County Commissioners or the Planning and Zoning Agency members on this topic, except in compliance with Resolution 95-126, to properly noticed public hearings or to written communication, care of SJC Planning and Zoning Division, 4040 Lewis Speedway, St. Augustine, Florida, 32084.

NOTICE TO PERSONS NEEDING SPECIAL ACCOMMODATIONS AND TO ALL HEARING-IMPAIRED PERSONS: In accordance with the Americans with Disabilities Act, persons needing special accommodations or an interpreter to participate in this proceeding should contact the County's ADA Coordinator at (904) 209-0650 or at the St. Johns County Facilities Management, 2416 Dobbs Road, St. Augustine, FL 32086. Hearing impaired persons, call Florida Relay Service (1-800-955-8770), no later than 5 days prior to the meeting.

BOARD OF COUNTY COMMISSIONERS
ST. JOHNS COUNTY, FLORIDA
CHRISTIAN WHITEHURST, CHAIR
FILE NUMBER: PUD-2023000002
PROJECT NAME: Ponte Vedra Resort





FLORIDA DEPARTMENT *of* STATE

RON DESANTIS
Governor

CORD BYRD
Secretary of State

November 13, 2023

Honorable Brandon Patty
Clerk of Courts
St. Johns County
500 San Sebastian View
St. Augustine, FL 32084

Attention: Crystal Smith

Dear Honorable Brandon Patty,

Pursuant to the provisions of Section 125.66, Florida Statutes, this will acknowledge receipt of your electronic copy of St. Johns County Ordinance No. 2023-50, which was filed in this office on November 13, 2023.

Sincerely,

Anya Owens
Administrative Code and Register Director

ACO/wlh

FILED **NOV 13 2023**
St. Johns County
Clerk of Court

By: Crystal Smith
Deputy Clerk