

RESOLUTION NO. 2024- 353

A RESOLUTION BY THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA REGARDING A PARTIAL COUNTY AD VALOREM PROPERTY TAX EXEMPTION FOR REHABILITATION OF A HISTORIC PROPERTY LOCATED AT 115 BRIDGE STREET, IN THE CITY OF ST. AUGUSTINE, OWNED BY BRIDGE STREET ESTATES, LLC; PROVIDING FOR EXEMPTION FROM THAT PORTION OF AD VALOREM TAX LEVIED BY THE COUNTY ON ONE HUNDRED PERCENT (100%) OF THE INCREASE IN ASSESSED VALUE OF THE PROPERTY RESULTING FROM THE QUALIFYING IMPROVEMENTS; PROVIDING FOR AN EXEMPTION PERIOD OF TEN (10) YEARS; AUTHORIZING THE COUNTY ADMINISTRATOR, OR DESIGNEE, TO EXECUTE A HISTORIC PROPERTY TAX EXEMPTION COVENANT ON BEHALF OF THE COUNTY; PROVIDING AN EFFECTIVE DATE.

RECITALS

WHEREAS, consistent with section 196.1997(1), Florida Statutes, and Chapter 1A-38, Florida Administrative Code, Ad Valorem Tax Exemptions for Historic Properties, property owners may seek an ad valorem tax exemption as authorized by the Board of County Commissioners; and

WHEREAS, St. Johns County Ordinance No. 2022-55 (“Ordinance 2022-55”), which applies throughout the entire area of the County, provides for a Historic Property Tax Exemption for *qualifying improvements* to a *historic property*, as those terms are defined within the ordinance; and

WHEREAS, the property located at 115 Bridge Street is in the City of St. Augustine and is a contributing property in the Lincolnville Historic District officially identified on the National Register of Historic Places (“Historic Property”); and

WHEREAS, the owner of the Historic Property, Bridge Street Estates, LLC (“Owner”), completed Historic Preservation Property Tax Exemption Application, attached hereto as Exhibit I (“Application”); and

WHEREAS, County staff has determined the Historic Property is a qualifying property, and the rehabilitation thereof, as described in the Application, is a qualifying improvement as those terms are defined in Ordinance No. 2022-55; and

WHEREAS, on June 20, 2024, the City of St. Augustine Historic Architectural Review Board (HARB)¹, as the local historic preservation office for the City of St. Augustine, determined the property is a historic property and that the completed improvements are consistent with The Secretary of Interiors Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings; and

WHEREAS, the Owner of the Property has executed the required Historic Preservation Tax Exemption Covenant, attached hereto as Exhibit 2, in which the Owner agrees to maintain and repair the Historic Property, so as to preserve its architectural, historical or archaeological integrity during the exemption period.

NOW, THEREFORE BE IT RESOLVED by the Board of County Commissioners of St. Johns County:

Section 1. St. Johns County Board of County Commissioners hereby adopts the above recitals as findings of fact and further finds that the property located at 115 Bridge Street is a historic property and meets the requirements in St. Johns County Ordinance No. 2022-55, section 196.1997, Florida Statutes, and Chapter 1A-38, Florida Administrative Code.

Section 2. St. Johns County Board of County Commissioners hereby grants a Historic Rehabilitation Tax Exemption pursuant to St. Johns County Ordinance No. 2022-55, for the Historic Property located at 115 Bridge Street. The property shall be exempt from that portion of the ad valorem taxation levied by the County on one hundred percent (100%) of the increase in the assessed value of the property resulting from the completion of the qualifying improvement project.

Section 3. The Board hereby approves the exemption granted in Section 2 for a period of ten (10) years, beginning on January 1, 2025, and expires on December 31, 2034.

Section 4. The Board authorizes the County Administrator, or designee, to execute the Historic Property Tax Exemption Covenant, on behalf of the County.

Section 5. To the extent there are any typographical or administrative errors or omissions that do not change the tone, tenor, or context of this Resolution, then this Resolution may be revised without subsequent approval of the Board of County Commissioners.

Section 6. This Resolution shall become effective upon signature of the Chair.

¹ Since the property is within the City of St. Augustine, the City's HARB, as the local historic preservation office, completed the review of the property with regard to The Secretary of Interior Standards.

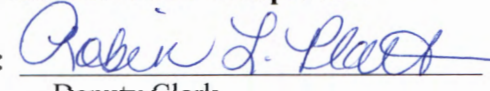
PASSED AND ADOPTED by the Board of County Commissioners of St. Johns County, Florida this 3rd day of September, 2024.

**BOARD OF COUNTY COMMISSIONERS OF
ST. JOHNS COUNTY, FLORIDA**

Rendition Date SEP 03 2024

By: 
Sarah Arnold, Chair

**ATTEST: Brandon J. Patty, Clerk of the
Circuit Court and Comptroller**

By: 
Deputy Clerk





Growth Management Department
Environmental Division
Application for Ad Valorem Tax Exemption
115 Bridge Street, St. Augustine, Florida 32084

To: Board of County Commissioners

From: Ryan Mauch, Environmental Supervisor

Date: July 15, 2024

Subject: **AVT 2024-02 115 Bridge Street**, an application to provide an historic preservation property tax exemption for the improvements made to 115 Bridge Street, St. Augustine, Florida 32084, pursuant to Ordinance 2022-55.

Applicant: Paul Weaver

Owner: Joe Griffin, Bridge Street Estates LLC

Hearing Dates: Historic Architectural Review Board – June 20, 2024
Board of County Commissioners – September 3, 2024

Commissioner
District: 5

Suggested Motion/Action

Approve: Motion to adopt Resolution 2024-_____, granting a 10-year historic property partial ad valorem tax exemption consistent with Ordinance 2022-55 for 115 Bridge Street, City of St. Augustine, beginning January 1, 2025 and expiring December 31, 2034; authorizing the County Administrator, or designee, to execute the Historic Property Tax Exempt Covenant on behalf of the County.

Deny: Motion to deny granting a historic property partial ad valorem tax exemption consistent with Ordinance 2022-55 for 115 Bridge Street, City of St. Augustine, beginning January 1, 2025 and expiring December 31, 2034; authorizing the County Administrator, or designee, to execute the Historic Property Tax Exempt Covenant on behalf of the County.

MAP SERIES

Location: South of King Street, east of the San Sebastian River, within City of St. Augustine City limits.



Aerial Imagery



Facing south

Before:



After:



Facing North, entrance gate

Before:



After:



Facing South, non-historic outbuilding

Before:



After:



Facing East, Historic Well

Before:



After:



Facing South, Sanford Street

Before:



After:



Facing West, Sanford Street

Before:



After:



North Elevation, facing south

Before:



After:



1st Floor facing east, dining room

Before:



After:



1st floor, facing east, parlor/wood floor

Before:



After:



2nd floor, facing west, apt. bedroom

Before:



After:



2nd floor, facing south, stair to 2nd floor

Before:



After:



Rear addition, facing north, non-historic carport

Before:



Rear addition, facing east non-historic carport removed, hyphen added

After:



APPLICATION SUMMARY

The property located at 115 Bridge Street is within the City of St. Augustine City Limits on a corner lot south west of the Bridge Street and Sanford Street intersection. Yallaha, 115 Bridge Street, is a frame and masonry vernacular residential building dating to c.1815. It rises one-and-a-half stories in height. Its foundation is coquina and brick, and its structural system is coquina and wood frame. The coquina structural walls at the northwest corner date to c. 1815 and most of the remainder to c. 1845. It has an ell-shaped ground plan, and a gable roof with gable dormers. It is one of the more prominent properties in Lincolnville and its grounds are the remnants of a Spanish land grant and orange grove known as Yallaha or the Mitchell Grove. An historic well appears on an 1876 lithograph of the property. The first floor features a parlor with a coquina fireplace, three bedrooms, an entrance foyer, bathrooms, and a kitchen/dining room in the coquina portion. The upper story has two apartments. C. 1970 the building was renovated to its present configuration by local owner/contractor William Forrester.

Yallaha, 115 Bridge Street, is one of the outstanding buildings in the Lincolnville Historic District. While the buildings in Lincolnville overwhelmingly date from 1871-1930, Yallaha Plantation House is an outlier. It is the oldest extant building in Lincolnville and the City of St. Augustine, outside the colonial city in the southwest peninsula of St. Augustine. The coquina portion dates from the Second Spanish Period (1784-1821) and was originally the country home of Dr. Jose Bousquet. In the 1820s, the Board of Land Commissioners of East Florida granted title to the property to Peter Mitchell. Known as the Mitchell Grove, it was acquired in 1845 by the Dumas family and between 1845 and 1876, the building acquired its present configuration. After a number of transactions and alteration, William Forrester, a local contractor, acquired the property in 1955. The Forrester family retained the property until 2021.

The tax exemption application is for the improvements made to the structure, which include but are not limited to minimal changes to the historical portions of the building, removing unsound materials and numerous renovations, rehabilitations and additions to the building's exterior and interior, while maintaining the building's historic character as detailed in the supporting documents reviewed, authorized and submitted by the City of St. Augustine.

Building Exterior:

1. **Roof:** Historic roof structure was stabilized and retained; existing roof material was removed, underlying structure selectively repaired and replaced, ice/water membrane added along with new architectural shingle
2. **Chimneys (2):** Both retained, with brick and mortar cleaned and selectively repaired
3. **Porch:** Foundation/porch deck stabilized with spot repairs; wood porch posts replaced in their original location; balustrade elements custom milled to be rebuilt replicating existing; roof to be reconstructed
4. **Dormers:** wooden features, including decorative shingles, selectively repaired/reinforced; one rebuilt
5. **Widows:** Replaced in kind with wood sashes and exterior muntins.; casement windows on 1st floor level of north elevation replaced with 6/6 sash windows; a new 4/4 sash window added on 1st floor level of south elevation; (2) new 4/4 sash windows added on 1st floor level of west elevation.
6. **Elevation Features:** Coquina retained and selectively repaired on south and west elevation; matching wood siding materials used to replace deteriorated siding on west elevation
7. **Attachments:** Non-historic wood carport, stairs, and deck were demolished (approved COD PL2021-0137)

Building Interior:**FIRST FLOOR**

1. Non-historic partition wall and finishes in kitchen removed
2. Library/game room created in kitchen/dining space, with new wood floors, drywall walls/ceilings and exposed coquina walls that are partially covered with built out wood panels and trim for protection
3. Entrance/Stair hall retained, with historic interior access to 2nd floor restored
4. Parlor and fireplace retained in present configuration for use as a bedroom and sitting room
5. Non-historic partition walls in south wing partially removed, with hallway created in what is believed to be historic location; chimney retained
6. Reconfigured second bedroom and two bathroom spaces added in previously altered space south wing
7. Wood floors proposed that were to be retained and selectively replaced in areas of deterioration with material that matches were replaced with white oak plank flooring
8. New drywall on interior walls and ceilings, new moldings/trim, new doors/hardware, and light fixtures

SECOND FLOOR

9. Historic interior stair access to 2nd floor restored with new stair
10. West brick fireplace retained, and apartment unit space turned into bedroom and bathroom
11. South wing and east end's spaces previously altered apartment spaces reconfigured with non-historic bathrooms removed and replaced with 2 bedrooms and bathrooms, and a sitting room; double fireplaces and single chimney retained
12. White oak plank flooring and ceramic tile (in bathrooms) replaced existing flooring
13. New drywall on interior walls and ceilings, new moldings/trim, new doors/hardware, and light fixtures

Existing Site / Site Features:

1. Historic well retained
2. Coquina garden wall along west elevation retained, c. 1970 patio and fountain retained and used as a planter
3. c. 1970 shed on southwest corner of property was demolished
4. Coquina concrete driveway with brick paver banding on east side of property through a historic curb cut
5. Parking area at rear/south side of property where it has been
6. Partially raised inground swimming pool (12'x20') and spa added in area of previously existing pool
7. Wood privacy fencing on west property line, black metal fencing on north and east property lines
8. Coquina wall entrance feature at Bridge Street retained

Building Addition:

A wood frame addition with cross gable roof, subordinate in height to historic structure and hyphen, was constructed at rear of existing building in area of non-historic carport and storage building and attached at the south wing. Differentiated from the existing house, the addition, with the exception of the garage portion, rests on a pier foundation, clad with Hardie horizontal siding, and has 2/2 windows on the front facing /north elevation.

Attached is a proposed county resolution for BCC review, the HARB recommendation, the City Commission approval, a Warranty Deed to the property and a copy of the proposed covenant. Also, attached are copies of the applications submitted to the City seeking approval of the restoration plans pertaining to this property.

COUNTY PROCEDURE

St. Johns County Ordinance No. 22-55 (as amended), known as St. Johns County Historic Preservation Property Tax Exemption Ordinance, applies county-wide and establishes procedures for application to and review by the St. Johns County Cultural Resource Review Board (CRRB) for private properties within unincorporated St. Johns County seeking a property tax exemption for historic preservation in accordance with Florida Statutes. Properties within St. Augustine City Limits are required to receive review and approval from the Historic Architectural Review Board (HARB) and the City Commission prior to submitting to the County for Board of County Commissioners approval. This preservation incentive contributes to stimulating business investment for commercial projects, and higher property value retention for residential neighborhoods.

If an application is approved, the property owner is eligible to receive an ad valorem tax exemption of 100% of the assessed value of the improvements resulting from the renovation or restoration of a qualifying historic property. The exemption is for a period of ten (10) years beginning January of the year following substantial completion of the improvements to the property. The value estimate of the exemption will not be confirmed and official until roll approval in July, however the estimated costs attributed solely to work on the historic building is estimated at \$2,243,698 and the cost of the entire project is estimated at \$3,446,565 for this parcel as provided by the applicant.

STAFF REVIEW

The historic preservation ad valorem tax application was submitted to the County on July 15th, 2024, lies within the City of St. Augustine City Limits and has gone through the City's application review process. As the jurisdictional Certified Local Government, the Historic Preservation Officer of the City of St. Augustine determined that the application is consistent with the provisions of s. 196.1997 (11), F.S., the improvements are consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings and the criteria set forth in Chapter 1A-38, F.A.C.

HISTORIC ARCHITECTURAL REVIEW BOARD

Parts I and II of the application were approved by the city's HARB on April 21, 2022. On June 20, 2024 HARB reviewed Part III and recommended the tax exemption for approval.

CITY OF ST. AUGUSTINE COMMISSION

All parts of the application were then reviewed by the St. Augustine City Commission on July 22, 2024 and the covenant and resolution were approved and signed. The tax exemption for the property beginning January 1, 2025 for a period of ten (10) years is now before the St. Johns County Board of County Commissioners for approval of a resolution and for permission to enter into a covenant with the property owner as required by the Florida Statutes.

CORRESPONDENCE/PHONE CALLS

As of the writing of this staff report, County Staff has received no correspondence or phone calls regarding this request.

RECOMMENDED ACTION

Motion to adopt Resolution 2024-_____, granting a 10-year historic property partial ad valorem tax exemption consistent with Ordinance 2022-55 for 115 Bridge Street, City of St. Augustine, beginning January 1, 2025 and expiring December 31, 2034; authorizing the County Administrator, or designee, to execute the Historic Property Tax Exempt Covenant on behalf of the County.

ATTACHMENTS

1. Documents to be Recorded
2. Application and Supporting Documents

CITY OF ST. AUGUSTINE

MEMORANDUM

TO: David Birchim, City Manager

DATE: July 22, 2024

RE: **Request for Resolution 2024-024 FOR THE CITY OF ST. AUGUSTINE, FLORIDA, GRANTING AN AD VALOREM TAX EXEMPTION FOR A HISTORIC PROPERTY LOCATED AT 115 BRIDGE STREET; AND PROVIDING AN EFFECTIVE DATE.**

On June 20, 2024, the Historic Architectural Review Board (HARB) reviewed Part III of a Historic Preservation Ad Valorem Tax Exemption Application to certify the completion of rehabilitation work for 115 Bridge Street, a contributing building to the Lincolnvill National Register Historic District, constructed c. 1800, and recorded in the Florida Master Site File. The HARB determined that the completed work is generally consistent with the Secretary of the Interior's Standards for Rehabilitation, and made the recommendation to the local government (St. Augustine City Commission and also St. Johns County Board of County Commissioners) that the requested tax exemption be granted

Attached is the resolution to formally approve the exemption along with the required covenant, documents from the three-part application that was reviewed by the HARB, including Part III and portions of the Part I and II packets that were reviewed by the HARB April 21, 2022.

The Historic Preservation Ad Valorem Tax Exemption is a financial incentive that provides a 10 year exemption to the increase in property taxes that would result from qualified improvements to a historic building. This does not exempt the owner from all property taxes, only the increase resulting from the improvements made with the rehabilitation project. Because many qualified historic properties for this program are outside of the local Historic Preservation Zoning Districts (HP-1 to HP-5) and areas facing HP-1 to HP-3, that are required to follow the Architectural Guidelines for Historic Preservation, and the exterior and interior work must be generally compatible with the Secretary of the Interior's Standards for Rehabilitation, this incentive encourages property owners to perform qualified rehabilitation work to a qualifying historic property.

The Ad Valorem Tax Exemption is explained in further detail on the following page.

Please place this resolution on the agenda for the July 22, 2024 City Commission meeting. If you have any questions or need additional information, please let me know.

Julie Courtney

Julie Courtney
Historic Preservation Officer
Planning and Building Department

Historic Preservation Property Tax Exemption

In 1995 the City Commission adopted an ordinance allowing partial ad valorem tax exemptions for historic property if the property is being restored, rehabilitated or renovated according to specific guidelines¹. This exemption applies only to improvements to real property.

The exemption for qualifying properties is from ad valorem taxes levied by the City of St. Augustine on 100% of the assessed value of the improvement for 10 years².

In order to qualify for this tax exemption, the property must:

1. be individually listed in the National Register of Historic Places; or
2. be a contributing property to a National Register District; or
3. be designated a historic property or be a contributing property in a locally established historic preservation district.

Further, to qualify for this tax exemption, the improvements to a property meeting one of the above criteria must also:

1. be consistent with the United States Secretary of Interior's Standards for Rehabilitation; and
2. be determined by the Historic Architectural Review Board to meet criteria established by the Department of State.

The minimum valuation of the improvement must be \$20,000 or 50% of the assessed value of the structure before the improvement, whichever is less.

Twenty-five percent (25%) of the proposed improvement must be to the exterior or foundation of the structure.

How to Apply:

Applications for the Historic Preservation Property Tax Exemption must be made prior to the start of any construction work on the property, on forms provided by the Planning and Building Division from the Department of State. *Please speak with Historic Preservation staff before beginning the proposed work.*

The Historic Architectural Review Board must approve the plans, and the Planning and Building Division must issue a building permit for the proposed improvement before the start of any construction.

The review and approval process for the tax exemption is in addition to the building permit review process already established.

The Planning and Building Division is required to inspect the completed work to ensure that the construction has been completed as indicated on the plans submitted with the application for the tax exemption, and to ensure the continued maintenance of the improvements during the period of time that the exemption is in force.

Activating the Tax Exemption:

The review and approval authority of the Historic Architectural Review Board (HARB) and the Planning and Building Division is administrative only. Final approval for the ad valorem tax exemption rests with the City Commission.

The property owner must sign an Historic Preservation Property Tax Exemption Covenant agreeing to maintain the improvements during the period of the exemption. This covenant must then be approved by resolution of the City Commission. The approved covenant must be recorded with the deed to the property to allow the Property Appraiser to activate the tax exemption.

¹ Ordinance number 1995-20 and ordinance number 1997-61

² Ordinance number 2009-06 changed the exemption period from 5 to 10 years.

RESOLUTION NO. 2024-24

A RESOLUTION OF THE CITY COMMISSION FOR THE CITY OF ST. AUGUSTINE, FLORIDA, GRANTING AN AD VALOREM TAX EXEMPTION FOR A HISTORIC PROPERTY LOCATED AT 115 BRIDGE STREET; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Commission for the City of St. Augustine, Florida, is the local governing authority as prescribed by s. 196.1997, Florida Statutes, to approve an ad valorem tax exemption for a historic property; and

WHEREAS, the City Commission finds that the property located at 115 Bridge Street is owned by Bridge Street Estates LLC pursuant to (EX OR1030/631 & OR1059/1146) OR5609/1492, also known as Parcel Number 2068500000; and

WHEREAS, the property is designated as a historic property because it is a contributing property in a National Register-listed historic district; and

WHEREAS, on April 21, 2023, the Historic Architectural Review Board (HARB) for the City of St. Augustine reviewed and approved applications for work to be completed at 115 Bridge Street; and

WHEREAS, on April 30, 2024, the City of St. Augustine Building Official issued a Certificate of Completion for a complete historic renovation at 115 Bridge Street recorded as Building Permit BP2022-0168; and

WHEREAS, on June 20, 2024, the HARB for the City of St. Augustine reviewed the work completed at 115 Bridge Street, approved a certificate of completeness, and recommended the property located at 115 Bridge Street for a historic property tax exemption; and

WHEREAS, the City Commission for the City of St. Augustine has reviewed and approved the associated Historic Preservation Property Tax Exemption Covenant and hereby determines that it is in the best interest of public health, safety, and general welfare to grant a historic preservation property tax exemption;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION FOR THE CITY OF ST. AUGUSTINE, FLORIDA, AS FOLLOWS:

Section 1. Historic Preservation Property Tax Exemption. The City Commission for the City of St. Augustine, Florida, finds that the historic property located at 115 Bridge Street meets the requirements of s. 196.1977, Florida Statutes, and hereby grants an ad valorem property tax exemption for the improvements made at 115 Bridge Street subject to the recordation of a Historic Preservation Property Tax Exemption Covenant consistent with the requirements of s. 196.1977, Florida Statutes. The property tax exemption begins January 1, 2025 and expires on December 31, 2034.

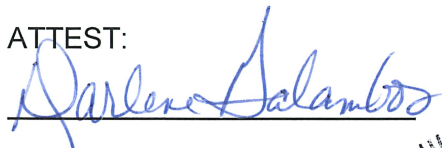
Section 2. Effective Date. This resolution shall become effective immediately upon adoption.

ADOPTED in Regular Session of the City Commission for the City of St. Augustine, Florida, this 22nd day of July 2024.



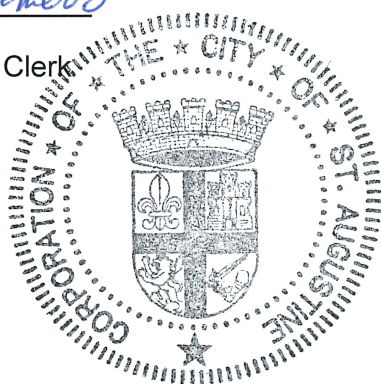
Nancy Sikes-Kline, Mayor-Commissioner

ATTEST:



Darlene Galambos, City Clerk

(SEAL)



HISTORIC PRESERVATION PROPERTY TAX EXEMPTION COVENANT

This Covenant is made the 22 day of July, 2024, by Bridge Street Estates LLC (hereinafter referred to as the Owner)

and in favor of the City of St. Augustine

(hereinafter referred to as the Local Government) for the purpose of the restoration, renovation or rehabilitation of a certain Property located at 115 Bridge Street, St. Augustine, FL 32084

A contributing structure to the Lincolnville National Register Historic District

which is owned in fee simple by the Owner and is listed in the National Register of Historic Places or locally designated under the terms of a local preservation ordinance or is a contributing property to a National Register listed district or a contributing property to a historic district under the terms of a local preservation ordinance. The areas of significance of this property, as identified in the National Register nomination or local designation report for the property or the district in which it is located, are architecture, history, archaeology.

The Property is comprised essentially of grounds, collateral, appurtenances, and improvements. The property is more particularly described as follows (include city reference, consisting of repository, book, and page numbers): PID: 2068500000

DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4 (EX S75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146) OR5609/1492

In consideration of the tax exemption granted by the Local Government, the Owner hereby agrees to the following for the period of the tax exemption which is from January 1, 2025 to December 31, 2034:

1. The Owner agrees to assume the cost of the continued maintenance and repair of said Property so as to preserve the architectural, historical, or archaeological integrity of the same in order to protect and enhance those qualities that made the Property eligible for listing in the National Register of Historic Places or designation under the provisions of the local preservation ordinance.

2. The Owner agrees that no visual or structural alterations will be made to the Property without prior written permission of the Division of Historical Resources Local Historic Preservation Office.

The address of the certified Local Historic Preservation Office, if one exists in the jurisdiction, is:

Name of Office/Agency: City of St. Augustine - Historic Preservation Division
Address: P.O. Box 210, 75 King Street
City: St. Augustine Zip: 32085
Telephone: 904.209.4283

The address of the Division of Historical Resources is:

Bureau of Historic Preservation
Division of Historical Resources
R. A. Gray Building, 500 South Bronough Street
Tallahassee, Florida 32399-0250
Telephone Number: (850) 245-6333 or (800) 847-PAST (7278)

3. *[Only for properties of archaeological significance]* The Owner agrees to ensure the protection of the site against willful damage or vandalism. Nothing in this Covenant shall prohibit the Owner from developing the site in such a manner that will not threaten or damage the archaeological resource, provided that permission for alteration of the site is obtained pursuant to 2. above.

4. The Owner agrees that the Division of Historical Resources Local Historic Preservation Office and appropriate representatives of the Local Government, their agents and designees shall have the right to inspect the Property at all reasonable times in order to ascertain whether or not the conditions of this Covenant are being observed.

5. In the event of the non-performance or violation of the maintenance provision of this Covenant by the Owner or any successor-in-interest during the term of the Covenant, the Division of Historical Resources Local Historic Preservation Office will report such violation to the Property Appraiser and Tax Collector who shall take action pursuant to s. 196.1997 (7), F.S. The Owner shall be required to pay the difference between the total amount of taxes which would have been due in March in each of the previous years in which the Covenant was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in s. 212.12 (3), F.S.

6. If the Property is damaged by accidental or natural causes during the Covenant period, the Owner will inform the Division of Historical Resources Local Historic Preservation Office in writing of the damage to the Property, including (1) an assessment of the nature and extent of the damage; and (2) an estimate of the cost of restoration or reconstruction work necessary to return the Property to the condition existing at the time of project completion. In order to maintain the tax exemption, the Owner shall complete the restoration or reconstruction work necessary to return the Property to the condition existing at the time of project completion on a time schedule agreed upon by the Owner and the Division of Historical Resources Local Historic Preservation Office.

7. If the Property has been destroyed or severely damaged by accidental or natural causes, that is, if the historical integrity of the features, materials, appearance, workmanship, and environment, or archaeological integrity which made the property eligible for listing in the National Register of Historic Places or designation under the terms of the local preservation ordinance have been lost or so damaged that restoration is not feasible, the Owner will notify the Division of Historical Resources Local Historic Preservation Office in writing of the loss. The Division of Historical Resources Local Historic Preservation Office will evaluate the information provided and notify the Owner in writing of its determination regarding removal of the Property from eligibility for tax exemption. If the

Division of Historical Resources Local Historic Preservation Office determines that the property should be removed from eligibility for tax exemption, it will notify the Property Appraiser of the county in which the Property is located in writing so that the tax exemption can be cancelled for the remainder of the Covenant period. In such cases, no penalty or interest shall be assessed against the Owner.

8. If it appears that the historical integrity of the features, materials, appearance, workmanship, and environment, or archaeological integrity which made the Property eligible for listing in the National Register of Historic Places or designation under the terms of the local preservation ordinance have been lost or damaged deliberately or through gross negligence of the Owner, the Division of Historical Resources Local Historic Preservation Office shall notify the Owner in writing. For the purpose of this Covenant, "gross negligence" means the omission of care, which even inattentive and thoughtless persons never fail to take of their own property. The Owner shall have 30 days to respond indicating any circumstances which show that the damage was not deliberate or due to gross negligence. If the Owner cannot show such circumstances, he shall develop a plan for restoration of the Property and a schedule for completion of the restoration. In order to maintain the tax exemption, the Owner shall complete the restoration work necessary to return the Property to the condition existing at the time of project completion on a time schedule agreed upon by the Owner and the Division of Historical Resources Local Historic Preservation Office. If the Owner does not complete the restoration work on the agreed upon time schedule, the Division of Historical Resources Local Historic Preservation Office will report such violation to the Property Appraiser and Tax Collector who shall take action pursuant to s. 196.1997 (7), F.S. The Owner shall be required to pay the differences between the total amount of taxes which would have been due in March in each of the previous years in which the Covenant was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in s. 212.12 (3), F.S.

9. The terms of this Covenant shall be binding on the current Property owner, transferees, and their heirs, successors, or assigns.

This Covenant shall be enforceable in specific performance by a court of competent jurisdiction.

OWNER

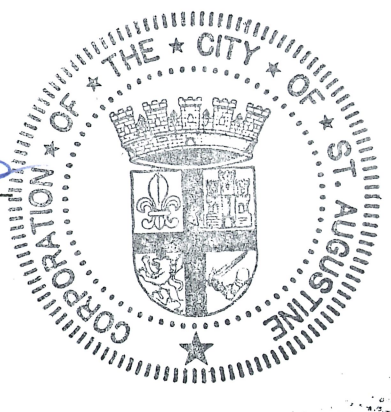
Joe Griffin [Signature] 7/22/24
Name Signature Date
BRIDGE STREET
ESTATES, LLC

LOCAL GOVERNMENT: City of St. Augustine

Nancy Sikes-Kline [Signature] July 22, 2024
Name of Authorized Signature Date
Local Official

Mayor-Commissioner
Title

ATTEST:
[Signature]
Darlene Galambos, City Clerk



115 BRIDGE STREET – Ad Valorem Tax Exemption

The following items were not included in this supporting documentation packet, due to the number of pages. They are available on the City's website by clicking on the links below:

- **Full Part I and II Application Packets** (Reviewed at the April 21, 2022 HARB meeting):
<https://staugustinefl.portal.civicclerk.com/event/581/overview> - Item 8(a)
- **Full Part III Application Packet** (Reviewed at the June 20, 2024 HARB meeting):
<https://staugustinefl.portal.civicclerk.com/event/939/overview> - Item 6(a)
- **Part I and II STAFF REPORT and attachments** , with BEFORE photos, Florida Master Site File, Sanborn Maps, Polk City Directory Research, and other documents for HARB's review (Reviewed at the April 21, 2022 HARB meeting):
<https://staugustinefl.portal.civicclerk.com/event/581/overview> - Item 8(a)
- **Part III STAFF REPORT and attachments**, with AFTER photos, Florida Master Site File, Sanborn Maps, Polk City Directory Research, and other documents for HARB's review (Reviewed at the June 20, 2024 HARB meeting):
<https://staugustinefl.portal.civicclerk.com/event/939/overview> - Item 6(a)
- **A 2020 update to the Florida Master Site File for 115 Bridge Street is also available upon request.**

These documents are also on file with this application (HP2022-0027) and available to view by contacting harb@citystaug.com, the Historic Preservation Officer Julie Courtney of the Historic Preservation Division at 904.209.4283, or the Planning and Building Department at 904.825.1065.



CERTIFICATE OF COMPLETION

This certificate is to certify that the described portion of the structure has been inspected for compliance with the requirements of the 2020 Florida Building Codes and all other applicable codes.

Permit number: BP2022-0168
Property Address: 115 Bridge St
Parcel number: 2068500000
Owner: Bridge Street Estates LLC
5243 E GRANDVIEW RD
SCOTTSDALE, AZ 85254-0000

Project Description: Interior & Exterior Renovation/Restoration of Historical Home, New Addition, & Additional Piers added as needed to replace deficient existing piers
Contractor: JOHN VALDES & ASSOCIATES INC

Special Conditions: None

Building Official: Richard E. Schauland, Jr., CBO, CFM
Date of Issuance: April 30, 2024

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2022 TRIM Notice

2022 TRIM Notice (PDF)

Summary

Parcel ID	2068500000
Location	115 BRIDGE ST
Address	SAINT AUGUSTINE 32084-0000
Neighborhood	Dumas Tract with part City St Aug (622)
Tax	DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4 (EX S75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146) OR5609/1492
Description*	<i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Multi-Family (Less than 10 Units) (0800)
Subdivision	Dumas Tract
Sec/Twp/Rng	18-7-30
District	City of St Augustine (District 452)
Millage Rate	18.872
Acreage	1.040
Homestead	N

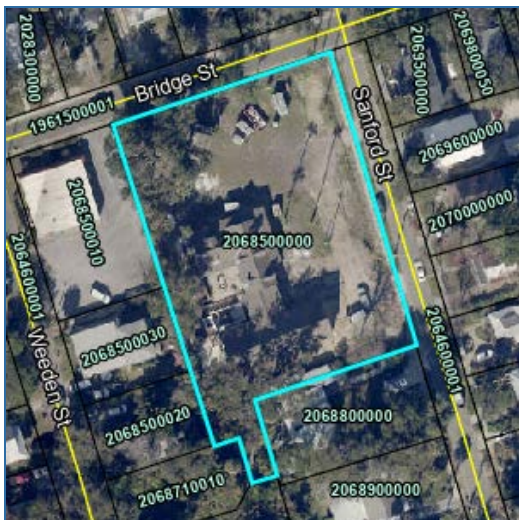
[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Bridge Street Estates LLC 100%
Mailing Address	5243 E GRANDVIEW RD SCOTTSDALE, AZ 85254-0000

Map



Valuation Information

	2024
Building Value	\$198,289
Extra Features Value	\$0
Total Land Value	\$858,375
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$1,056,664
Total Deferred	\$22,619
Assessed Value	\$1,034,045
Total Exemptions	\$0
Taxable Value	\$1,034,045

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

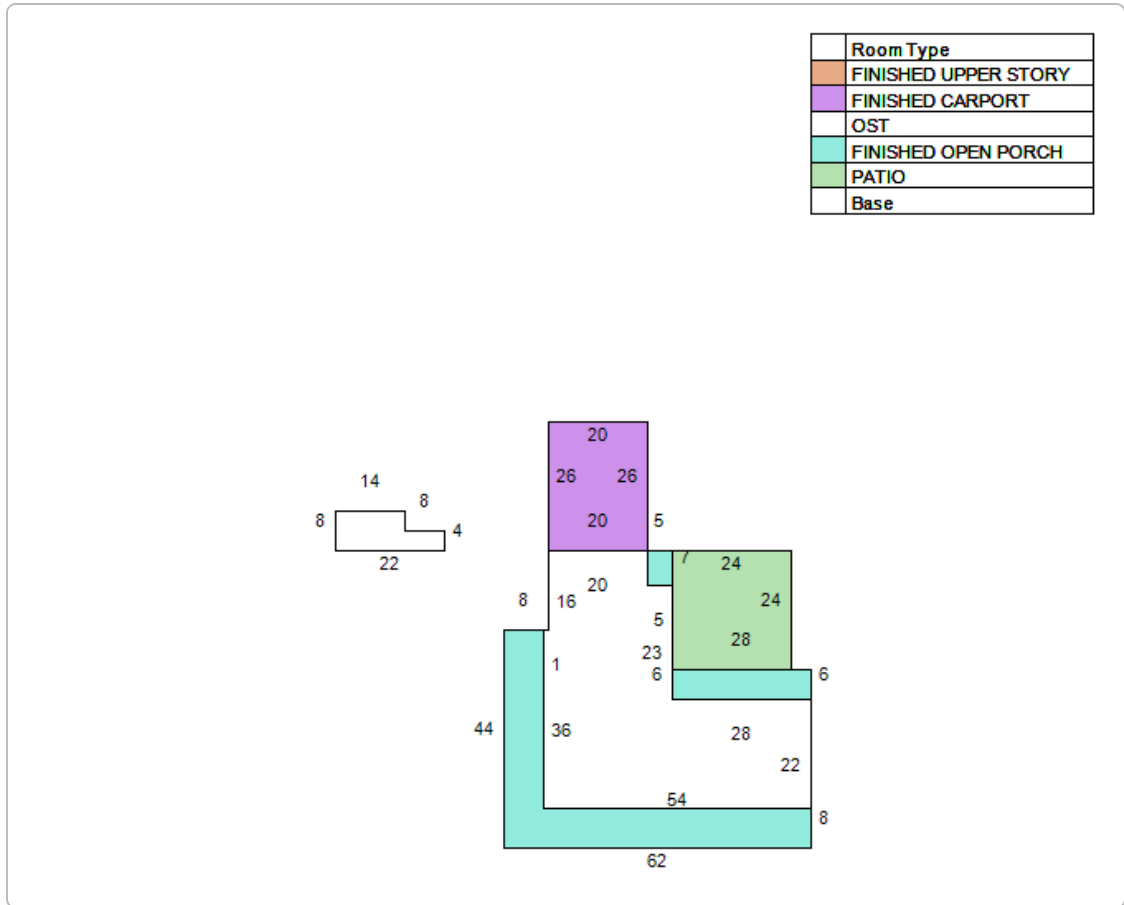
Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2023	\$177,041	\$0	\$763,000	\$0	\$0	\$940,041	\$940,041	\$0	\$940,041
2022	\$160,080	\$0	\$694,330	\$0	\$0	\$854,410	\$854,410	\$0	\$854,410
2021	\$120,583	\$0	\$550,550	\$0	\$0	\$671,133	\$671,133	\$0	\$671,133
2020	\$100,478	\$0	\$550,550	\$0	\$0	\$651,028	\$651,028	\$0	\$651,028
2019	\$83,699	\$0	\$555,450	\$0	\$0	\$639,149	\$639,149	\$0	\$639,149
2018	\$106,157	\$623	\$511,785	\$0	\$0	\$618,565	\$618,565	\$0	\$618,565
2017	\$108,369	\$2,407	\$460,615	\$0	\$0	\$571,391	\$490,374	\$131,017	\$440,374
2016	\$132,697	\$2,407	\$399,841	\$0	\$0	\$534,945	\$451,320	\$133,625	\$401,320
2015	\$137,901	\$2,407	\$319,875	\$0	\$0	\$460,183	\$416,749	\$93,434	\$366,749
2014	\$112,696	\$2,407	\$255,900	\$0	\$0	\$371,003	\$371,003	\$0	\$371,003
2013	\$116,794	\$2,407	\$198,323	\$0	\$0	\$317,524	\$301,065	\$66,459	\$251,065

Building Information

Building	1	Roof Cover	Composite Shingle
Building Value	\$198,289	Roof Structure	Gable Hip
Year Built	1900	Interior Flooring	Pine Wood
Actual Area	5102	Interior Wall	Drywall
Conditioned Area	2875	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	6
Exterior Wall	Stucco, Wood	Baths	4

Description	Square Footage
BASE AREA	1917
PATIO/SLAB	576
FINISHED OPEN PORCH	168
FINISHED OPEN PORCH	784
OUTSIDE STAIRS	144
FINISHED OPEN PORCH	35
FINISHED CARPORT	520
FINISHED UPPER STORY	958
Total SqFt	5102

Sketch Information



Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	175	236	175	EF	\$858,375

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
8/15/2022	8/10/2022	\$0.00	WARRANTY DEED	5616	1129	U	I	GRIFFIN JOSEPH	BRIDGE STREET ESTATES LLC
8/3/2022	7/20/2022	\$100.00	WARRANTY DEED	5609	1492	U	I	GRIFFIN JOSEPH	BRIDGE STREET ESTATES LLC
8/6/2021	8/6/2021	\$815,000.00	WARRANTY DEED	5337	918	Q	I	ELSEN FAITH E ET AL	GRIFFIN JOSEPH
	5/8/2006	\$0.00	QUIT CLAIM DEED	2712	1005	U	I	ELSEN DAVID C *** ETAL	ELSEN DAVID C ***
	8/17/2005	\$0.00	ORDER DET HX REAL P	2516	1953	U	I	ELSEN SUSAN H D ESTATE	ELSEN DAVID C ***
	1/25/2005	\$0.00	LETTERS OF ADMN	2371	1790	U	I	ELSEN SUSAN H D ESTATE	ELSEN SUSAN H D TRUST (LETT OF ADMIN)
	9/2/1998	\$0.00	WARRANTY DEED	1347	2019	U	I	ELSEN SUSAN H	ELSEN SUSAN H D TRUSTEE
	5/15/1998	\$100.00	WARRANTY DEED	1330	198	U	I	FORRESTER PHILLIP W	ELSEN SUSAN H
	5/15/1998	\$100.00	PERSONAL REP	1330	195	U	I	FORRESTER LUCILLE ESTATE- FORRESTER KENNETH PR	ELSEN SUSAN H
	9/2/1997	\$0.00	OTHER INSTRUMENT	1261	814	U	I	FORRESTER LUCILLE (DECEASED 8/3/97)	FORRESTER LUCILLE E ESTATE (LETT OF ADMIN)
	4/6/1995	\$0.00	WILL	1261	810	U	I	FORRESTER LUCILLE	FORRESTER LUCILLE (WILL)
	12/1/1981	\$0.00		522	228	U	I		FORRESTER LUCILLE
	1/1/1980	\$0.00		477	648	U	I		

No data available for the following modules: Exemption Information, Extra Feature Information.

Department of State: Division of Corporations

[Allowable Characters](#)

HOME

Entity Details

THIS IS NOT A STATEMENT OF GOOD STANDING

[File Number:](#) **6270903** [Incorporation Date / Formation Date:](#) **9/29/2021**
(mm/dd/yyyy)

[Entity Name:](#) **BRIDGE STREET ESTATES LLC**

[Entity Kind:](#) **Limited Liability Company** [Entity Type:](#) **General**

[Residency:](#) **Domestic** State: **DELAWARE**

[REGISTERED AGENT INFORMATION](#)

Name: **UNITED STATES CORPORATION AGENTS, INC.**

Address: **131 CONTINENTAL DRIVE SUITE 305**

City: **NEWARK** County: **New Castle**

State: **DE** Postal Code: **19713**

Phone: **302-777-0538**

Additional Information is available for a fee. You can retrieve Status for a fee of \$10.00 or more detailed information including current franchise tax assessment, current filing history and more for a fee of \$20.00.

Would you like Status Status, Tax & History Information

For help on a particular field click on the Field Tag to take you to the help area.

[site map](#) | [privacy](#) | [about this site](#) | [contact us](#) | [translate](#) | [delaware.gov](#)

Prepared by and return to:

The McLeod Firm
1200 Plantation Island Dr. S # 140
St. Augustine, Fl. 32080

Parcel Identification No 206850-0000

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 20th day of July, 2022 Joseph Griffin, a/k/a Joseph Griffin, Jr. a married person, whose post office address is 5243 East Grandview Road, Scottsdale, AZ. 85254, as Grantor to Bridge Street Estates, LLC, a Florida limited liability company, whose post office address is 5243 East Grandview Road, Scottsdale, AZ 85254, of the County of Maricopa, State of Arizona, Grantee:

Witnesseth, that said Grantors, for and in consideration of the sum of TEN AND 00/100 (10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Johns, Florida, to-wit:

A TRACT OF LAND IN THE CITY OF ST. AUGUSTINE BEING LOTS 1, 2, 3, 4, 5 AND 7, BLOCK C, DUMAS TRACT, AS PER OFFICIAL CITY MAP DATED 1923, EXCEPTING THEREFROM PROPERTY DESCRIBED IN DEED BOOK 231, PAGE 455, DEED BOOK 251, PAGE 160, DEED BOOK 257, PAGE 510, OFFICIAL RECORDS BOOK 1059, PAGE 1146 AND OFFICIAL RECORDS BOOK 1030, PAGE 631, ALL OF THE OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon as defined by Article X, Section 4 of the Florida Constitution, nor is it adjacent to or contiguous with any of his/their homestead(s) and that the property described herein is not now, nor has it ever been, the primary residence/homestead of the owner or the owner's spouse or dependent child, if any.

In addition, the property is not contiguous to such person's homestead, which is located at: 5243 East Grandview Road, S cottsdale, AZ 85254

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anyway appertaining.

Subject to taxes for 2022 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Both seller/transferor and buyer/transferee acknowledge this deed has been prepared without any representation, research, warranty or guarantee of authenticity or right to title or lack of defect in title or ownership. No title insurance and no abstract or opinion concerning title has occurred and no legal advice whatsoever has been provided to any party concerning the sale or transfer effected by this deed. As such, all parties to this transaction/transfer waive and release the preparer of this document from any and all liability whatsoever regarding this document and transfer/transaction, saving and excepting nothing.

This is a transfer from individual ownership to a wholly owned LLC Managed by the Grantor named herein and is therefore not subject to Documentary stamps.

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]

WITNESS

PRINT NAME: Tamara Griffin

[Signature]

Joseph Griffin, Jr.

[Signature]

WITNESS

PRINT NAME: Lauree Roza

STATE OF Arizona

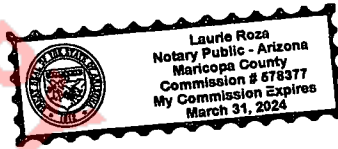
COUNTY OF maricopa

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 20 day of July, 2022, by Joseph Griffin, a/k/a Joseph Griffin, Jr..

[Signature]

Signature of Notary Public

Print, Type/Stamp Name of Notary



Personally Known: _____ OR Produced Identification:

Type of Identification US Passport

Produced: _____

This instrument was prepared by:

Wendy Keohane

Action Title Services of St. Johns County, Inc.

3670 US 1 South, Suite 110, St. Augustine, Florida 32086

File Number:23186

This Warranty Deed

Made this August 10, 2022 A.D. By Joseph Griffin, a/k/a Joseph Griffin, Jr., a married man, conveying his separate non-homestead property, hereinafter called the grantor, to Bridge Street Estates LLC, a Delaware limited liability company, whose post office address is: 5243 East Grandview Road, Scottsdale, AZ 85254, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that Grantor, for the sum of Ten Dollars and no cents (\$10.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee the following described property:

A TRACT OF LAND IN THE CITY OF ST. AUGUSTINE BEING LOTS 1, 2, 3, 4, 5 AND 7, BLOCK C, DUMAS TRACT, AS PER OFFICIAL CITY MAP DATED 1923, EXCEPTING THEREFROM PROPERTY DESCRIBED IN DEED BOOK 231, PAGE 455, DEED BOOK 251, PAGE 160, DEED BOOK 257, PAGE 510, OFFICIAL RECORDS BOOK 1059, PAGE 1146 AND OFFICIAL RECORDS BOOK 1030, PAGE 631 AND OFFICIAL RECORDS BOOK 1066, PAGE 1593 ALL OF THE OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

THIS CORRECTIVE DEED IS BEING RECORDED TO CORRECT THE LEGAL DESCRIPTION IN THAT CERTAIN DEED RECORDED IN OFFICIAL RECORDS BOOK 5609, PAGE 1492 OF THE SAID PUBLIC RECORDS.

Parcel ID Number: 206850-0000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

SUBJECT TO covenants, restrictions, easements, limitations and reservations of record, if any. However, this reference does not reimpose same. Subject to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes and assessments accruing subsequent to December 31, 2021.

[signature page to follow]

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

TWO DIFFERENT WITNESSES HAVE SIGNED BELOW (THE NOTARY MAY BE ONE OF THE TWO WITNESSES) AND NEITHER WITNESS NOR THE NOTARY IS RELATED TO THE GRANTOR(S) OR HAS A BENEFICIAL INTEREST IN THE SALE OF THIS PROPERTY DESCRIBED HEREIN.

Signed, sealed and delivered in our presence:

[1] *[Signature]*

[Signature] (Seal)
Joseph Griffin a/k/a Joseph Griffin, Jr.
Address: 5243 E. GRANDVIEW RD
SCOTTSDALE, AZ 85254

Witness Printed Name: Tamara Griffin

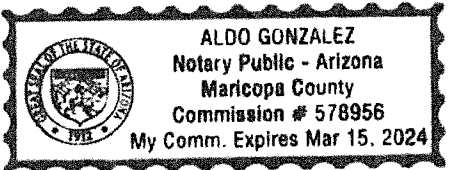
[2] *[Signature]*

Witness Printed Name: Aldo Gonzalez

State of AZ
County of Maricopa

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this August 10, 2022, by Joseph Griffin, a/k/a Joseph Griffin, Jr., a married man, conveying his separate non-homestead property. Such person (notary must check applicable box):

- is / are personally known to me.
- produced a current driver's license as identification.
- produced _____ as identification.



[Signature]
Notary Public
Notary Print Name Aldo Gonzalez
My Commission Expires: 3.15.2024

(NOTARY SEAL)

**Historic Preservation Property Tax Exemption Application
Part 3 – Request for Review of Completed work**

Upon completion of the restoration, rehabilitation or renovation, return this form with photographs of the completed work (views of site improvements, exterior and interior work for buildings) to the Division of Historical Resources or the Local Historic Preservation Office, as applicable. These photographs must provide a comprehensive description of the completed work. They should be the same views as the *before* photographs included in Part 2 of the application. Type or print clearly in black ink. The final recommendation of the Division of Historical Resources or the Local Historic Preservation Office, as applicable, with respect to the requested historic preservation property tax exemption is made on the basis of the descriptions in this Request for Review of Completed Work.

1. Property identification and location:

Property Identification Number: 206850000

Address of property: Street 115 Bridge Street

City St. Augustine County St. Johns Zip Code 32084

2. Data on restoration, rehabilitation, or renovation project:

Project starting date 05/15/2022 Project completion date: 04/23/2024

Estimated cost of entire project: \$ \$3,446,565

Estimated costs attributed solely to work on historic buildings or archaeological site: \$ \$2,243,698

3. Owner Attestation: I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in Part 2 of the Historic Preservation Property Tax Exemption Application (Application) submitted for this project. I attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and is consistent with the work described in Part 2 of the Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this Application and Request for Review of Completed Work (Request), I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in the Application and this Request. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this Application or Request is subject to criminal sanctions pursuant to the Laws of Florida.

Name Joe Griffin Signature  Date 5/15/24

Complete the following if signing for an organization or multiple owners (See next page for additional owners):

Title Owner Organization name Bridge Street Estates Inc.

Mailing Address 2800 N. 6th Street

City St. Augustine State FL Zip Code 32084

Daytime Telephone Number (602) 882-1979

Page Eleven – Request for Review of Completed Work

List Additional Owners:

Name _____

Street _____

City _____ State _____ Zip Code _____

Name _____

Street _____

City _____ State _____ Zip Code _____

Name _____

Street _____

City _____ State _____ Zip Code _____

If there are additional owners, provide the indicated information for each on a separate sheet of paper.

**REVIEW OF COMPLETED WORK
For Local Historic Preservation Office or Division Use Only**

Property Identification Number _____

Property Address _____

The () Local Historic Preservation Office () Division has reviewed Part 3 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- () Determines that the completed improvements to the property **are consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, **recommends approval** of the requested historic preservation tax exemption.
- () Determines that the completed improvements to the above referenced property **are not consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, **recommends denial** of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review Comments: _____

Page Twelve – Request for Review of Completed Work

Additional Review Comments attached? Yes No

Signature Julie E. Courtney

Typed or printed name Julie E. Courtney

Title Historic Preservation Officer

Date June 20, 2024

BEFORE THE
HISTORIC ARCHITECTURAL REVIEW BOARD FOR THE
CITY OF ST. AUGUSTINE, FLORIDA

TYPE OF REQUEST:

- | | |
|---------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Certificate of Completeness and |
| <input type="checkbox"/> Certificate of Demolition | Recommendation for Historic Property Tax |
| <input type="checkbox"/> Certificate of Relocation | Exemption |
| <input checked="" type="checkbox"/> Certificate of Appropriateness for
Preservation Approach for Ad Valorem
Tax Exemption | <input type="checkbox"/> Opinion of Appropriateness |

IN THE MATTER OF:

Case No.: HP2024-0028
Applicant: Paul L. Weaver, III
Owner: Bridge Street Estates Inc./Joe Griffin
Address: 115 Bridge Street
Parcel Number: 2068500000

Re: Certificate of Appropriateness, pursuant to Section 28-89, City of St. Augustine Code, To review part III of a Historic Preservation Ad Valorem Tax Exemption Application including completed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and contributing to the Lincolnville National Register Historic District.

THE HISTORIC ARCHITECTURAL REVIEW BOARD HAS HEARD TESTIMONY AND EXAMINED EVIDENCE AT A PUBLIC HEARING HELD ON THURSDAY, JUNE 20, 2024, AND BASED ON THE TESTIMONY AND EVIDENCE, THE BOARD HAS DETERMINED AS FOLLOWS:

FINDINGS OF FACT AND CONCLUSIONS OF LAW:

1. Applicant is the legal owner, occupant, and/or representative of the owner/occupant of the subject property and duly submitted an application with the owner's knowledge, and was duly notified of the hearing, in accordance with Chapter 28 of the Code of the City of St. Augustine. The applicant or representative was present at the Thursday, June 20, 2024, Historic Architectural Review Board meeting and testified under oath, or was not present.
2. A public hearing was held, with notice given as required by law, and members of the public testified under oath, or no members of the public spoke on this issue.
3. The subject property has a zoning classification of Residential Single-Family-Two (RS-2)
4. The above-described Certificate of Appropriateness is subject to Section 28-89 of the Code of the City of St. Augustine.

ORDER:

Based upon the evidence presented, the Historic Architectural Review Board determined that the requested action **MEETS / DOES NOT MEET** the requirements of Section 28-89, City of St. Augustine Code, and **APPROVES / DENIES / CONTINUES** the Applicant's request To review part III of a Historic Preservation Ad Valorem Tax Exemption Application including completed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and contributing to the Lincolnville National Register Historic District.

Subject to the following conditions:

- meets SOIS for Rehabilitation
- Meets Dept. of State Standards
- recommends Moving to CC.
- _____
- _____
- _____
- _____
- _____

DONE AND ORDERED, at a public hearing on the 20th day of June, A.D., 2024, in the Alcazar Room, 75 King Street, St. Augustine, Florida.

Case No. HP2024-0028

REQUEST **APPROVED / DENIED / CONTINUED**

Sign Name

Caere MacDonald

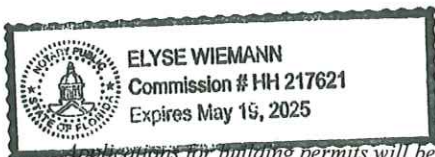
Print Name

HISTORIC ARCHITECTURAL REVIEW BOARD
CITY OF ST. AUGUSTINE, FLORIDA

STATE OF FLORIDA, COUNTY OF ST. JOHNS

I HEREBY CERTIFY that on this day, personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Caere MacDonald, by means of physical presence or online notarization, who is personally known to me and who is the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same for the purposes therein expressed.

Witness my hand and official seal, this 20th day of June, A.D., 2024.



Elyse Wiemann

Notary Public, State of Florida

Applications for building permits will be required and must be submitted electronically with formalized digital signature. HARB documents are not accepted for issuance of a building permit and must meet all city standards prior to issuance.



CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION



Ad Valorem Tax Exemption

Case Number: HP2024-0028

Meeting Date: Thursday, June 20, 2024

1. NAME OF APPLICANT: Paul L. Weaver, III
 Business (if applicable):
 Address: 5 Milton St.
 City: ST AUG State: fl Zip Code: 32084
 Daytime Telephone: 9043476090 E-Mail Address: hpa007@aol.com
2. NAME OF PROPERTY OWNER: Bridge Street Estates Inc./Joe Griffin
 Business (if applicable):
 Address: 2800 N. 6th Steet, #724
 City: St. Augustine State: FL Zip Code: 32084
 Daytime Telephone: 602 882-1979 E-Mail Address: joegriffin@gmail.com
3. PROJECT LOCATION: 115 BRIDGE ST, Saint Augustine, 32084
4. LEGAL DESCRIPTION:

DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4 (EXS75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146)OR5609/1492

5. SCOPE OF WORK:

To review part III of a Historic Preservation Ad Valorem Tax Exemption Application including completed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and contributing to the Lincolnville National Register Historic District.

Information attached by applicant includes:

- Ad Valorem Tax Exemption Application Form
- Photos
- Maps
- Plans



Owner's Authorization For Agent

John Valdes is/are hereby authorized TO ACT ON BEHALF OF Bridge Street Estates LLC (Joe Griffin), the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Historic Architectural Review Board, for an application related to the structure located at: 115 Bridge St., St. Augustine, FL 32084

BY: [Signature]
Signature of Owner

Joe Griffin
Print Name of Owner

602-882-1979
Telephone Number

State of Florida

County of St. Johns

Signed and sworn before me on this 11th day of June, 2024.

By Joe Griffin

Identification verified: drivers license

Oath sworn: Yes No



Notary Signature: Brooke Brownlee

My Commission expires: 11/19/2026

	Old Portion Cost	Old Portion Interior	Old Portion Exterior
John Valdes & Associates Costs			
231 - Permitting	\$ 8,263	\$ 4,132	\$ 4,132
238 - Other Permitting	\$ 2,089	\$ 1,045	\$ 1,045
262 - Site Set Up / Security Material	\$ 417	\$ -	\$ 417
262 - Site Set Up / Security Labor	\$ 263	\$ -	\$ 263
265 - Temporary Fencing	\$ 680	\$ -	\$ 680
265 - Temporary Fencing Labor	\$ 258	\$ -	\$ 258
270 - Temporary Utility	\$ 2,785	\$ -	\$ 2,785
290 - Land Clearing/Yard Work	\$ 2,935	\$ -	\$ 2,935
295 - Tree Service	\$ 2,425	\$ -	\$ 2,425
280 - Demolition	\$ 66,391	\$ 33,195	\$ 33,195
280 - Demolition Labor	\$ 15,125	\$ 7,563	\$ 7,563
305 - Fill Dirt	\$ -	\$ -	\$ -
308 - Tent Fumigation	\$ 9,491	\$ 4,746	\$ 4,746
320 - Concrete Material	\$ 143,353	\$ 14,335	\$ 129,018
320 - Concrete Labor	\$ 27,583	\$ 2,758	\$ 24,824
343 - Masonry Equipment Rentals	\$ 2,858	\$ 286	\$ 2,573
344 - Scaffolding	\$ -	\$ -	\$ -
380 - Rough Carpentry Material	\$ 134,581	\$ 121,122	\$ 13,458
380 - Rough Carpentry Labor	\$ 279,091	\$ 251,182	\$ 27,909
383 - Equipment Rentals	\$ 3,650	\$ 1,825	\$ 1,825
386 - Structural Hardware Material	\$ 15,026	\$ 15,026	\$ -
386 - Structural Hardware Labor	\$ 358	\$ 358	\$ -
400 - Roofing	\$ 56,024	\$ -	\$ 56,024
410 - Doors Material	\$ 11,592	\$ -	\$ 11,592
410 - Doors Labor	\$ 2,096	\$ -	\$ 2,096
415 - Garage Doors	\$ -	\$ -	\$ -
420 - Window Material	\$ 50,899	\$ -	\$ 50,899

	Old Portion Cost	Old Portion Interior	Old Portion Exterior
420 - Window Labor	\$ 7,926	\$ -	\$ 7,926
431 - Exterior Millwork Labor	\$ 3,931	\$ -	\$ 3,931
435 - Wood Siding & Trim Material	\$ 5,731	\$ -	\$ 5,731
435 - Wood Siding & Trim Labor	\$ 954	\$ -	\$ 954
479 - Gutters	\$ 1,495	\$ -	\$ 1,495
500 - Insulation	\$ 13,836	\$ 13,836	\$ -
510 - Drywall	\$ 26,486	\$ 26,486	\$ -
510 - Drywall Labor	\$ 530	\$ 530	\$ -
520 - Finish Carpentry Material	\$ 53,229	\$ 53,229	\$ -
520 - Finish Carpentry Labor	\$ 129,030	\$ 129,030	\$ -
525 - Interior Door Materials	\$ 8,089	\$ 8,089	\$ -
530 - Interior Trim Material	\$ 4,222	\$ 4,222	\$ -
530 - Interior Trim Labor	\$ 1,573	\$ 1,573	\$ -
535 - Wood Stair & Rail Material	\$ 286	\$ 286	\$ -
535 - Wood Stair & Rail Labor	\$ 5,586	\$ 5,586	\$ -
539 - Fireplace Mantle / Trim Material	\$ 314	\$ 314	\$ -
539 - Fireplace Mantle / Trim Labor	\$ 861	\$ 861	\$ -
540 - Vanities Labor	\$ 3,960	\$ 3,960	\$ -
546 - Countertop Material	\$ 19	\$ 19	\$ -
546 - Countertop Labor	\$ 560	\$ 560	\$ -
550 - Exterior Painting	\$ 54,588	\$ -	\$ 54,588
550 - Exterior Painting EXTRAS	\$ 11,725	\$ -	\$ 11,725
553 - Interior Painting	\$ 34,125	\$ 34,125	\$ -
570 - Tile	\$ 46,366	\$ 46,366	\$ -
580 - Tile Material	\$ -	\$ -	\$ -
580 - Tile Labor	\$ 306	\$ 306	\$ -
582 - Wood Flooring	\$ 33,568	\$ 33,568	\$ -
593 - Shower Enclosure	\$ 4,696	\$ 4,696	\$ -
597 - Closet System Material	\$ 49	\$ 49	\$ -

	Old Portion Cost	Old Portion Interior	Old Portion Exterior
597 - Closet System Labor	\$ 3,930	\$ 3,930	\$ -
740 - Exterior Wood Structure Material	\$ 32,994	\$ -	\$ 32,994
740 - Exterior Wood Structure Labor	\$ 24,430	\$ -	\$ 24,430
600 - Plumbing	\$ 53,616	\$ 42,893	\$ 10,723
606 - Gas Transmission System	\$ 529	\$ 476	\$ 53
608 - Hot Water Heaters	\$ -	\$ -	\$ -
610 - HVAC	\$ 56,003	\$ 28,001	\$ 28,001
620 - Electric	\$ 92,552	\$ 74,041	\$ 18,510
770 - Landscape/Yard Work	\$ -	\$ -	\$ -
775 - Irrigation Systems Material	\$ -	\$ -	\$ -
775 - Irrigation Systems Labor	\$ -	\$ -	\$ -
780 - Pools/Spa Construction	\$ 130,810	\$ -	\$ 130,810
836 - Photography / Video	\$ -	\$ -	\$ -
810 - Rough Clean Up Labor	\$ 1,416	\$ 708	\$ 708
810 - Job site clean up / debris removal	\$ 7,717	\$ 3,858	\$ 3,858
811 - Trash Removal / Dumpster	\$ 12,221	\$ 6,111	\$ 6,111
815 - Final Cleaning	\$ 1,250	\$ 625	\$ 625
Totals (John Valdes & Associates, Inc.)	\$ 1,709,739	\$ 985,905	\$ 723,834
Site Supervision	\$ 16,137	\$ 9,305	\$ 6,832
John Valdes & Associates, Inc. Overhead	\$ 172,588	\$ 99,521	\$ 73,067
John Valdes & Associates, Inc. Profit	\$ 189,385	\$ 109,207	\$ 80,178
John Valdes & Associates Costs	Old Portion Cost	Old Portion Interior	Old Portion Exterior
Total Cost to Date	\$ 2,087,848	\$ 1,203,938	\$ 883,910
*Minus: 780 - Pools/Spa Construction (\$130,810)	\$ 1,957,038		\$ 753,100

(Staff note)

Approved
 These plans have been reviewed and found to be in substantial compliance with the provisions of the 2020 Florida Building Code and the City of St. Augustine building ordinances. Any deviations or revisions to these plans must be approved by the City of St. Augustine Building Official.
 Richard "Buddy" Schauland 07/12/2022

APPROVED

Historic Preservation
 Julie Courtney
 August 19, 2022

APPROVED
 These plans have been reviewed for compliance with the City of St. Augustine Land Use & Development Codes. Any deviation from these plans or specifications related to the above codes must be reviewed and approved in advance in writing by the Planning & Building Department.
 An approved set of these plans must be kept on the job site at all times.
 Jacob Fredriksson 07/15/2022

PERMIT PLANS
 TO
 BUILDING RENOVATIONS + ADDITIONS
 TO
 THE GRIFFIN RESIDENCE
 "YAHALLA"
 115 BRIDGE ST.
 ST. AUGUSTINE, FL.

BUILDING FOOTAGE INFORMATION

1st FLOOR CONDITIONED SPACE 1363 Sq. Ft.
 2nd FLOOR CONDITIONED SPACE 1460 Sq. Ft.
 PORCH 156 Sq. Ft.
 NEW ADDITION 240 S.F.
 GARAGE 120 S.F.
 BEHIND FLOOR LEFT PORCHES 300 S.F.
 340 S.F.

STRUCTURE INFORMATION

MEAN ROOF HEIGHT 0'-0"
 TOTAL ROOF HEIGHT 0'-0"
 NUMBER OF STORIES 1 1/2

TYPE OF CONSTRUCTION

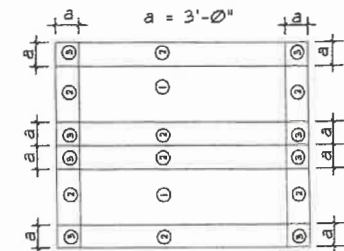
TYPE VB
 PROJECT IS LOCATED EAST OF I-95
 WIND-BORNE DEBRIS PROTECTION IS REQUIRED

WIND ZONE INFORMATION

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH 4 MEETS THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7th EDITION
 1. BASIC WIND SPEED (3 SECOND GUSTS) 130 MPH.
 2. WIND IMPORTANCE FACTOR 1.0
 3. WIND EXPOSURE CATEGORY B
 4. INTERNAL PRESSURE COEFFICIENT 1/8 OR -1/8
 5. COMPONENT & CLADDING WIND LOADS lbs./sq.ft.

HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENTS = 1.00

ROOF	EFFECTIVE WIND AREA FL Sq.			
	10	20	50	100
1	10.5	-25.9	10.0	-25.2
243	10.5	-43.5	10.0	-38.8
4	25.9	-28.1	24.7	-26.9
5	25.9	-34.7	24.7	-32.4
ROOF OVERHANG	10	20	50	100
		-37.3	-36.7	-35.2
		-6.15	-48.3	-30.8
				-11.6



NOTES:

- FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED BY THE DESIGNER, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.
- SEE FIGURES FOR LOCATION OF ZONES.
- PLUS AND MINUS SIGNS SIGNIFY PRESSURE ACTING TOWARD AND AWAY FROM THE BUILDING SURFACES.

CODE ANALYSIS

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH 4 MEETS THE REQUIREMENTS OF:
 BUILDING - FLORIDA BUILDING CODE, BUILDING 2020 7th EDITION
 PLUMBING - FLORIDA BUILDING CODE, PLUMBING 2020 7th EDITION
 MECHANICAL - FLORIDA BUILDING CODE, MECHANICAL 2020 7th EDITION
 LIFE SAFETY - NATIONAL FIRE PREVENTION ASSOC. CODE, LATEST EDITION
 FIRE CODE - FLORIDA FIRE PREVENTION CODE 7th EDITION
 HANDI-CAP CODE - FLORIDA BUILDING CODE, CHAPTER 11 - ACCESSIBILITY, 2020 7th EDITION
 ACCESSIBILITY CODE - FLORIDA BUILDING CODE, CHAPTER 11 - ACCESSIBILITY, 2020 7th EDITION
 ENERGY CODE - FLORIDA BUILDING CODE, ENERGY CONSERVATION, 2020 7th EDITION
 NATIONAL ELECTRIC CODE CURRENT EDITION

LIST OF DRAWING

- A-1 SITE PLAN
- A-2 FIRST FL. DEMOLITION PLAN
- A-3 SECOND FL. DEMOLITION PLAN
- A-4 NORTH & EAST ELEVATIONS
- A-5 SOUTH & WEST ELEVATIONS
- A-6 EXISTING SECTIONS
- A-7 PROPOSED FIRST FLOOR PLAN
- A-8 PROPOSED SECOND FLOOR PLAN
- A-9 PROPOSED ELEVATIONS
- A-10 PROPOSED ELEVATIONS
- A-11 FOUNDATION PLAN
- A-12 FLOOR FRAMING PLAN
- A-13 ROOF FRAMING PLAN
- A-14 BUILDING SECTIONS
- A-15 DETAIL WIND SECTION
- A-16 DETAIL WIND SECTION
- A-17 DETAIL WIND SECTION
- E-1 FIRST FLOOR ELECTRIC PLAN
- E-2 SECOND FLOOR ELECTRIC PLAN

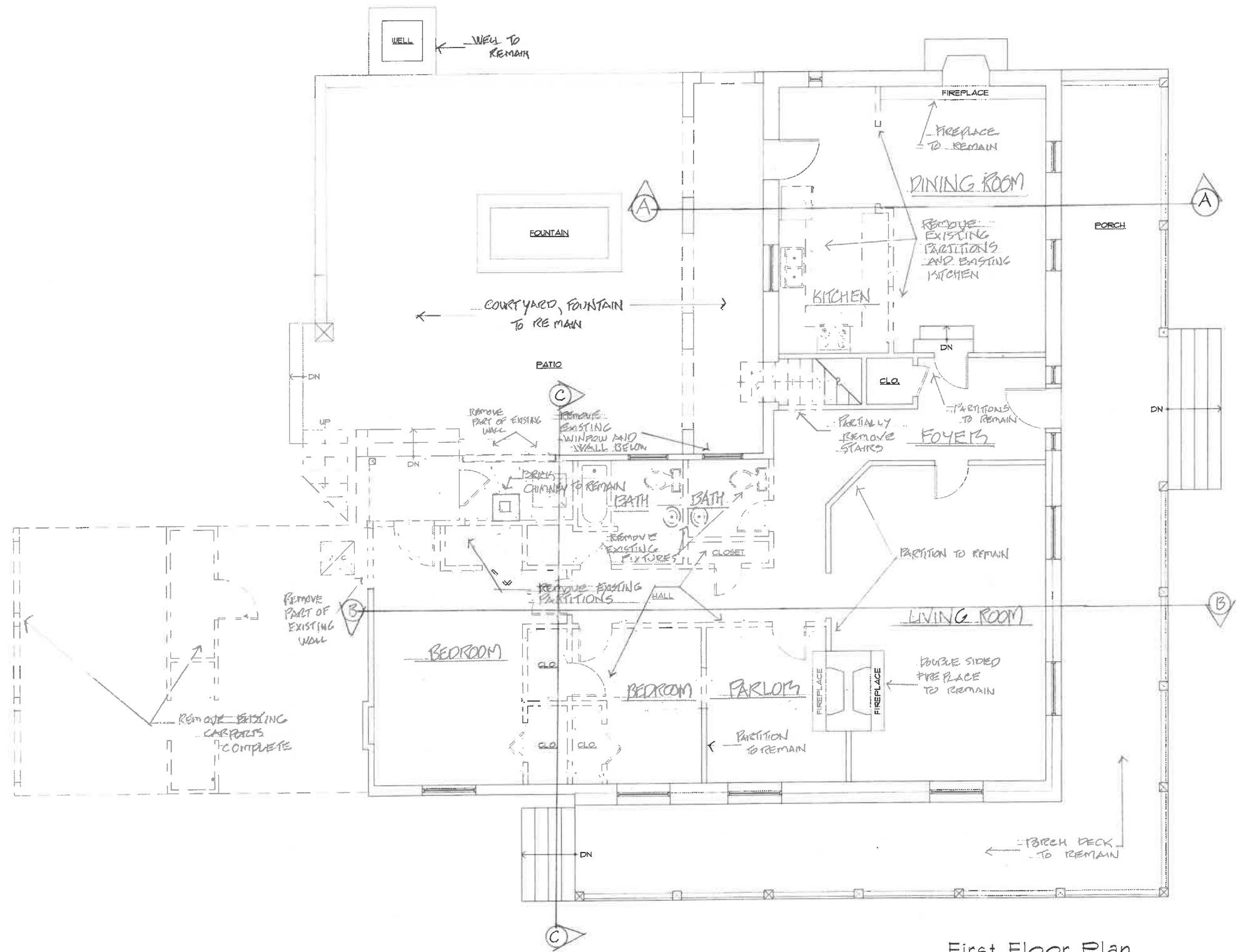


STRUCTURAL NOTES

- DESIGN LOADS:
 - A. ROOF LIVE LOADS 16 psf.
 - B. FLOOR LIVE LOADS 40 psf.
 - C. WIND LOADS 130 mph.
 - (FL. BLDG. CODE 2020)
2. MATERIAL
 - A. CONCRETE: DESIGN AND CONSTRUCTED PER ACI 318-08
 - ITEM _____ COMPRESSIVE STRENGTH # 28 DAYS
 - SLAB _____ 2500 P.S.I.
 - CMU FILLED CELLS & BEAMS _____ 2500 P.S.I.
- B. REINFORCING STEEL: CONFORM TO ASTM A-615 GAGE 60
- C. STRUCTURAL STEEL: DESIGN PER CURRENT ADDITION OF AISC.
 - 1. SHAPES AND PLATES CONFORM TO ASTM A-36
 - 2. WELDING CONFORM TO "AISC D11, STRUCTURAL WELDING CODE"
 - 3. ANCHOR BOLTS AND STEEL TO WOOD SHALL CONFORM TO ASTM A-307
 - 4. WELDED CONNECTIONS NOT SHOWN ON DRAWING SHALL HAVE ALL CONTACTING STEEL SURFACES CONTINUOUS WELDED WITH SUFFICIENT WELD TO FULLY DEVELOP THE THINNER MATERIAL.
- D. FRAMING LUMBER: SOUTHERN PINE PER N.F.P.A. NATIONAL DESIGN SPECS. FOR WOOD CONSTRUCTION.
 - 1. SAW LUMBER 2x4 THRU 2x12 SHALL BE SOUTHERN PINE NO. 2 @ 15% M.C.
 - 2. INTERIOR WALL STUDS SHALL BE SPRUCE-PINE-FIR NO.2
 - 3. LVL BEAMS SHALL BE SOUTHERN PINE Fb=2400 P.S.I.
 - 4. SAW LUMBER 4x4 AND LARGER SHALL BE SOUTHERN PINE NO. 1 @ 15% M.C.
- E. WOOD FLOOR & ROOF TRUSSES: DESIGN BY THE MANUFACTURER TO SUPPORT DEAD, WIND AND LIVE LOADS.
 - 1. MANUFACTURE SHALL SUBMIT ERECTION DRAWINGS FOR REVIEW BEFORE FABRICATING TRUSSES.
 - 2. ERECTION DRAWINGS SHALL SHOW ALL LATERAL AND DIAGONAL BRACING AS REQUIRED IN THE TRUSS SYSTEM.
 - 3. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE MANUFACTURER.
- F. PLYWOOD ROOF AND WALL SHEATHING:
 - CONFORM TO THE AMERICAN PLYWOOD ASSOC. STANDARDS AND SHALL BE AP C-D INT. WITH EXTERIOR GLUE (CDX) MIN.
- G. CONCRETE MASONRY UNITS: CONFORM TO ASTM C-90. MORTAR SHALL BE TYPE M OR S.
- H. WOOD FRAMING ANCHORS AND HURRICANE TIE CLIPS SHALL BE "GO-BOLTS" OR EQUAL.
 - 4. ALL CMU SHALL HAVE #5 BAR VERTICAL WITH CELL FILLED WITH CONCRETE AS SHOWN ON DRAWINGS.
 - B. ALL CMU SHALL HAVE HORIZONTAL JOINT REINFORCING SPACED 16" O.C. VERTICAL REINFORCING SHALL BE FABRICATED FROM 9 GAUGE GALVANIZED WIRE.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMP. BRACING UNTIL THE ENTIRE STRUCTURE IS PLUMB AND SECURED IN PLACE.
6. SHEATHING NAILING:
 - A. ROOF SHEATHING SHALL BE NAILED AS FOLLOWS:
 - Bd RING SHANK NAILS
 - Bd NAILS @ 6" O.C. AT PANEL EDGES.
 - Bd NAILS @ 9" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - Bd NAILS @ 4" O.C. AT ALL SUPPORTS WITHIN 4'-0" OF EDGES.
 - B. PORCH CEILING OR SUB CEILING WITH RING SHANK NAILS:
 - Bd NAILS @ 4" O.C. AT PANEL EDGES.
 - Bd NAILS @ 8" O.C. AT ALL INTERMEDIATE SUPPORTS.
- C. ALL EXTERIOR WALLS BETWEEN OPENINGS AND AT CORNERS SHALL BE SHEAR WALL SEGMENTS. PLYWOOD NAILING TO BE: Bd NAILS @ 6" O.C. EACH SHEAR WALL SEGMENT SHOULD HAVE 1/2 @ THREADED ROD WITHIN 8" OF SHEAR WALL.
7. CMU WALL OPENING HEADS, JAMBS, AND WINDOW SILLS SHALL BE 2x6 MIN. P.T. WITH 1/4" DIA x 3/4" LONG "TAPCONS" @ 18" O.C.
8. ALL EXTERIOR WINDOWS AND DOORS SHALL MEET 130 MPH WIND SPEED. WIND BORNE DEBRIS PROTECTION REQUIRED: IMPACT RESISTANT WINDOWS OR SHUTTERS BY ARCHITECT OR CONTRACTOR.

This property falls within Archaeological Zone IIIA and known archaeological deposits have been documented. The building permit can be issued with the understanding that all new foundation piers will be above ground and that additional archaeological work at the property is required. Coordination with the City Archaeologist will continue for additional archaeological testing and monitoring for area subject to ground disturbance.
 A. White 8/29/2022

LES THOMAS ARCHITECT
 BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508
 Date: 8-2-22
 Scale: AS NOTED
 Drawn: MURPHY
 Pln: GRIFFIN
 SHEET
 A.1



First Floor Plan
 1/4" = 1'-0" Existing
DEMOLITION PLAN

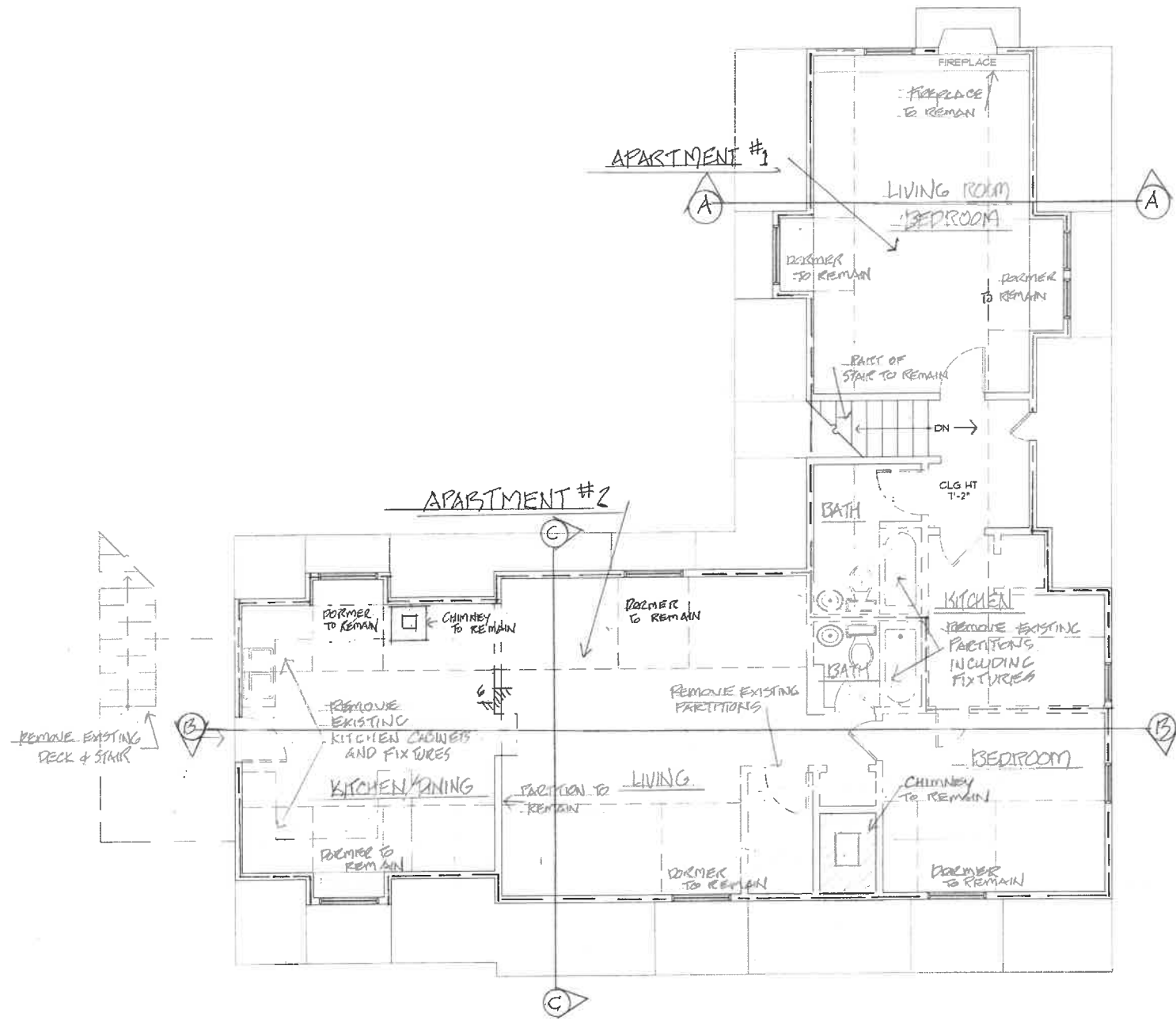
NOTE: EXTERIOR WALLS TO REMAIN. REPAIR OR REPLACE WITH COMPATIBLE MATERIAL AS REQUIRED TO TROUGH OR PERMITE DAMAGE.

LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-22
 Scale: AS NOTED
 Drawn: MURPHY
 Pln: GRIFFIN

SHEET
A2



Second Floor Plan
 1/4" = 1'-0" Existing
DEMOLITION PLAN

NOTE: EXTERIOR WALLS TO REMAIN, REPAIR OR REPLACE WITH COMPATIBLE MATERIAL AS REQUIRED DO TO TROUGH OR TERMITE DAMAGE.

LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-88
 Scale: AS NOTED
 Drawn: MURPHY
 File: GRIFFIN

SHEET
A3



North Elevation
 1/4"=1'-0" Existing



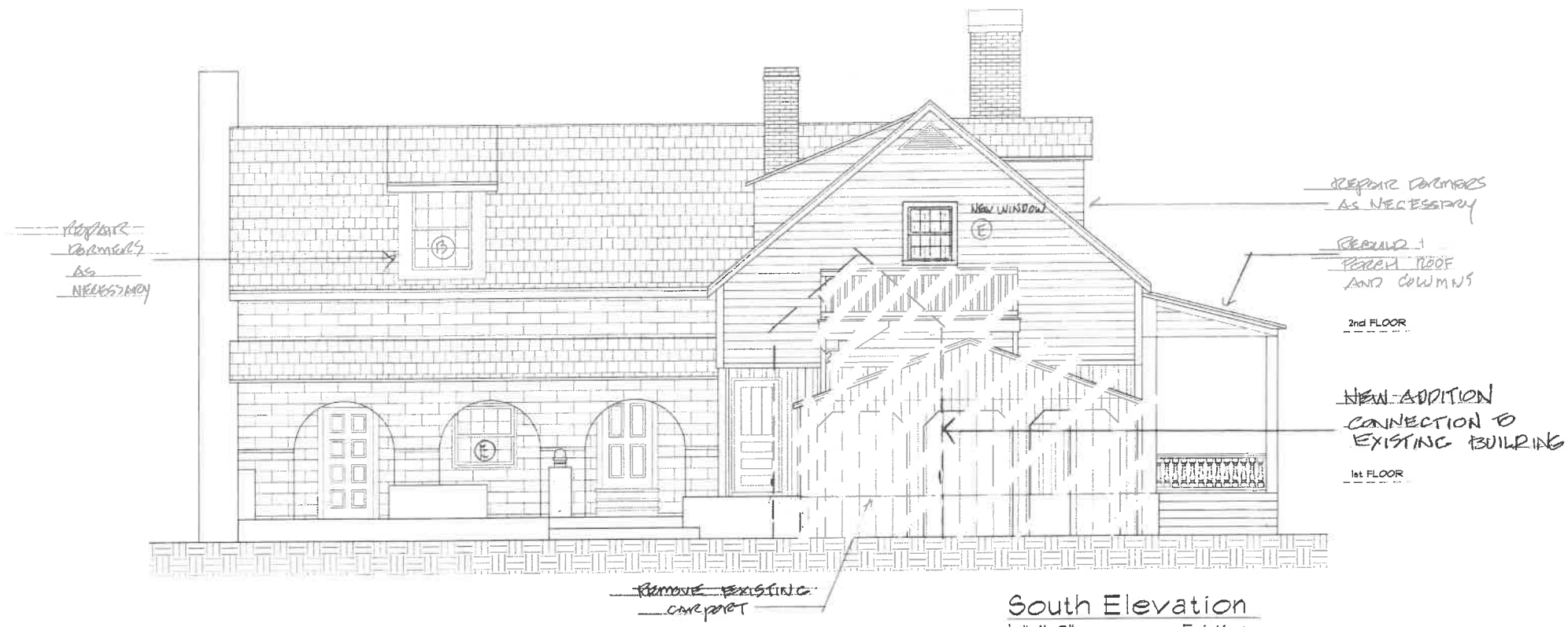
East Elevation
 1/4"=1'-0" Existing

LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-22
 Scale: AS NOTED
 Drawn: MURPHY
 File: GRIFFIN

SHEET
 A4



South Elevation
 1/4"=1'-0" Existing



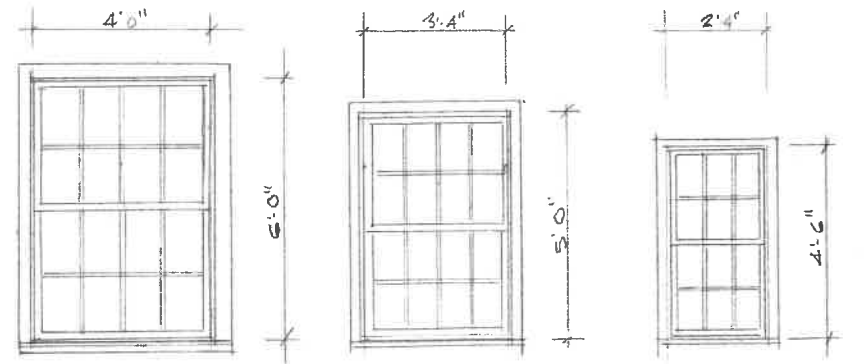
West Elevation
 1/4"=1'-0" Existing

LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

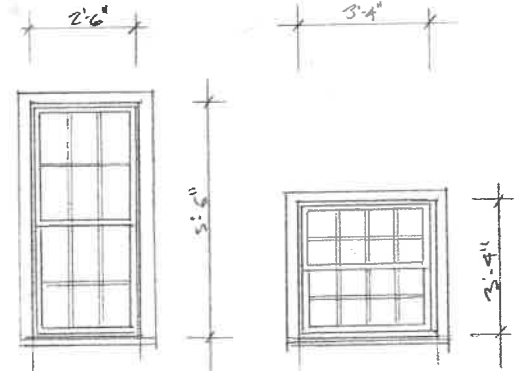
BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 2-1-22
 Scale: AS NOTED
 Drawn: MURPHY
 File: GRIFFIN

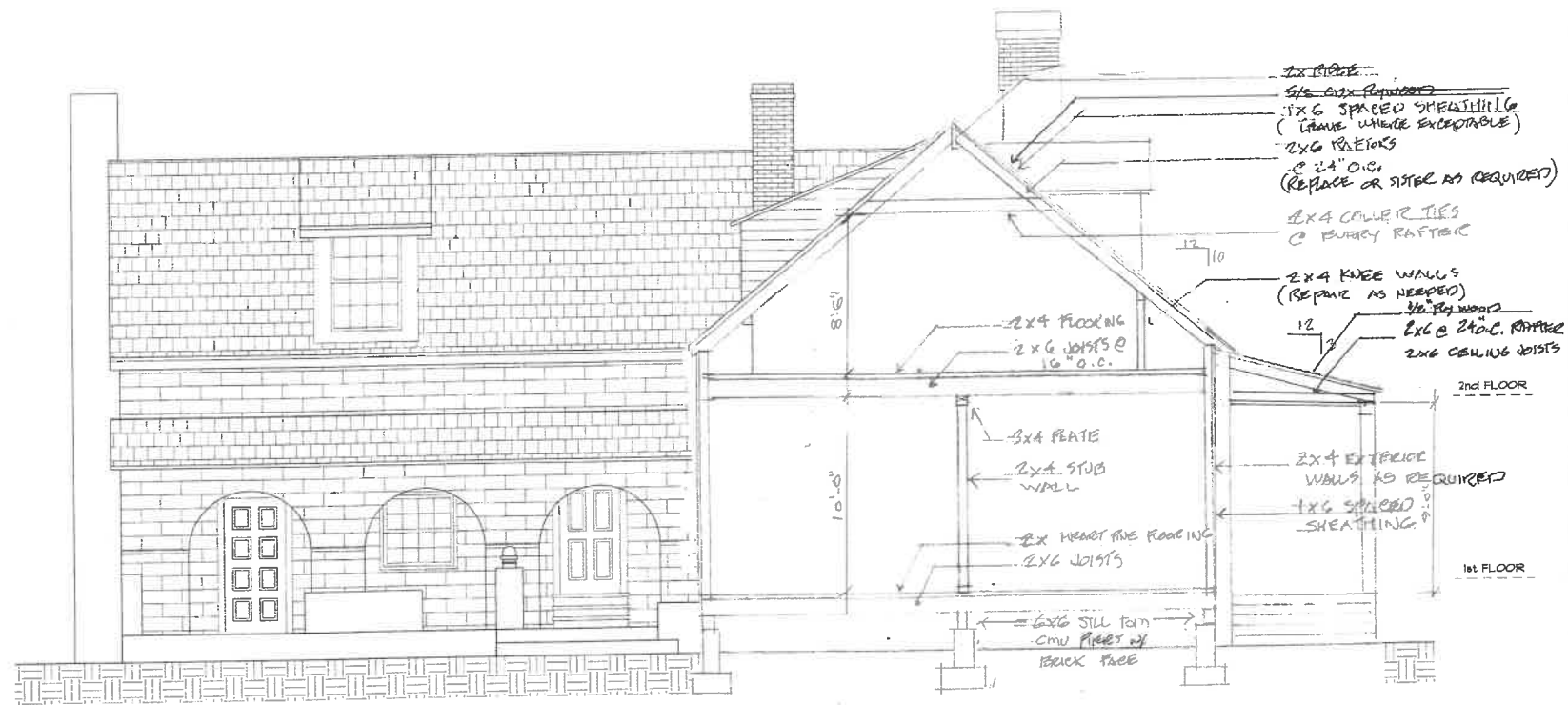
SHEET
 A5



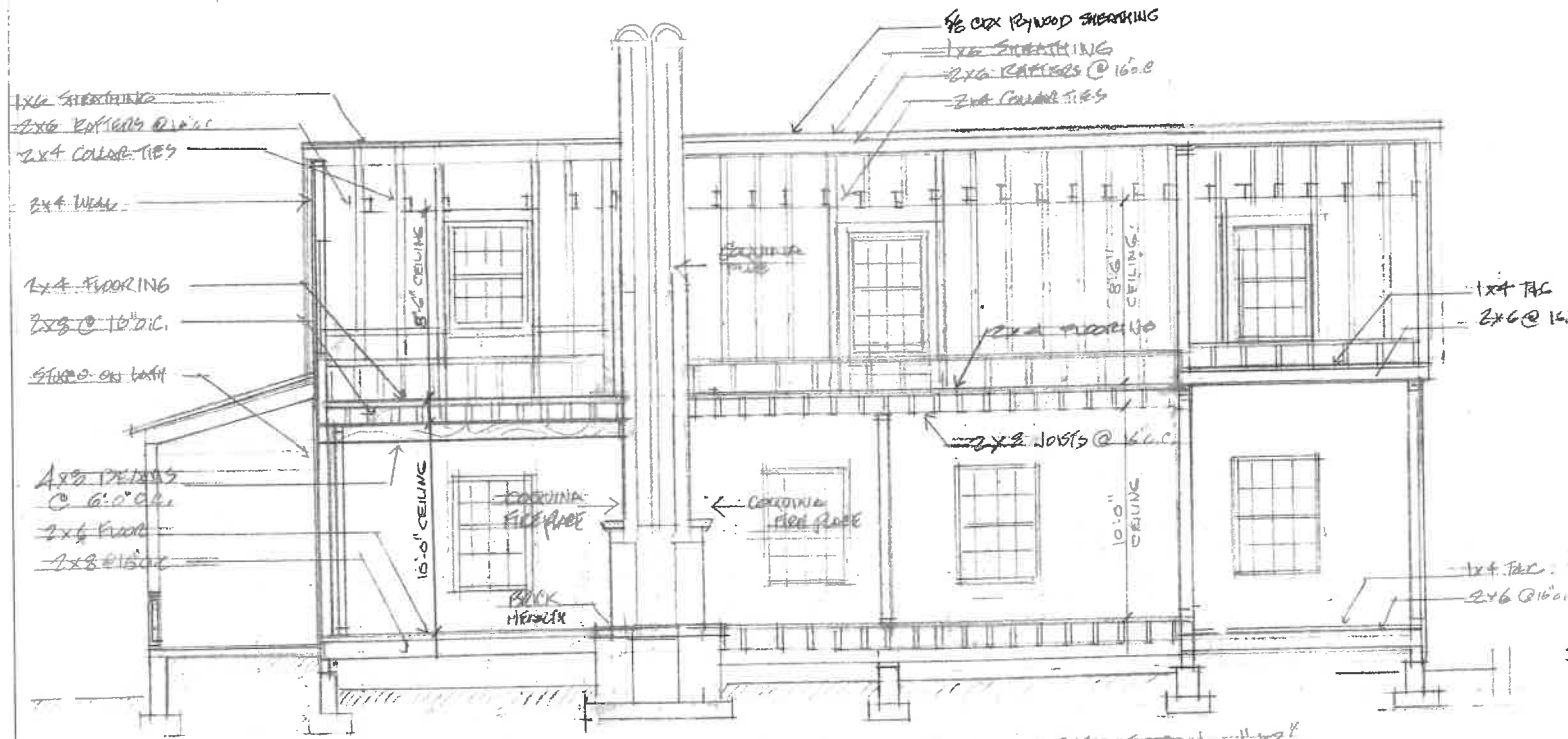
WINDOW "A" WINDOW "B" WINDOW "C"
 Replace w/
 OPERABLE WOOD
 WINDOW



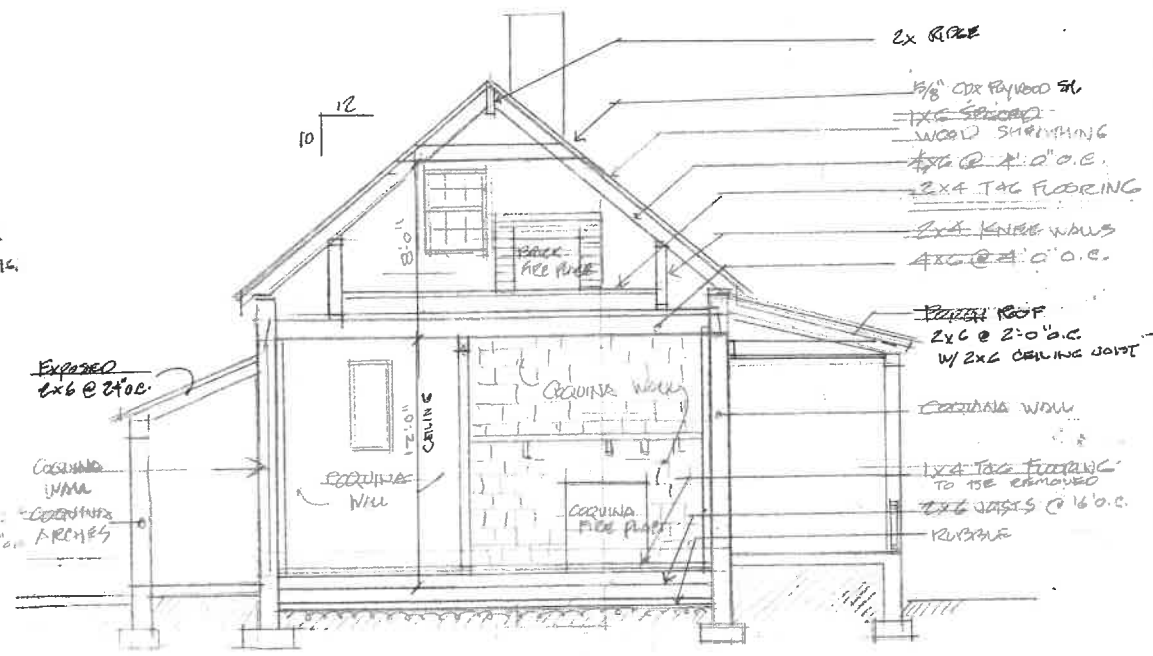
WINDOW "D" WINDOW "E"
 REPLACE EXISTING
 ALUMINUM WINDOW
 W/ NEW WOOD WINDOW



SECTION "C" 1/4"=1'-0"



SECTION "B" 1/4"=1'-0"



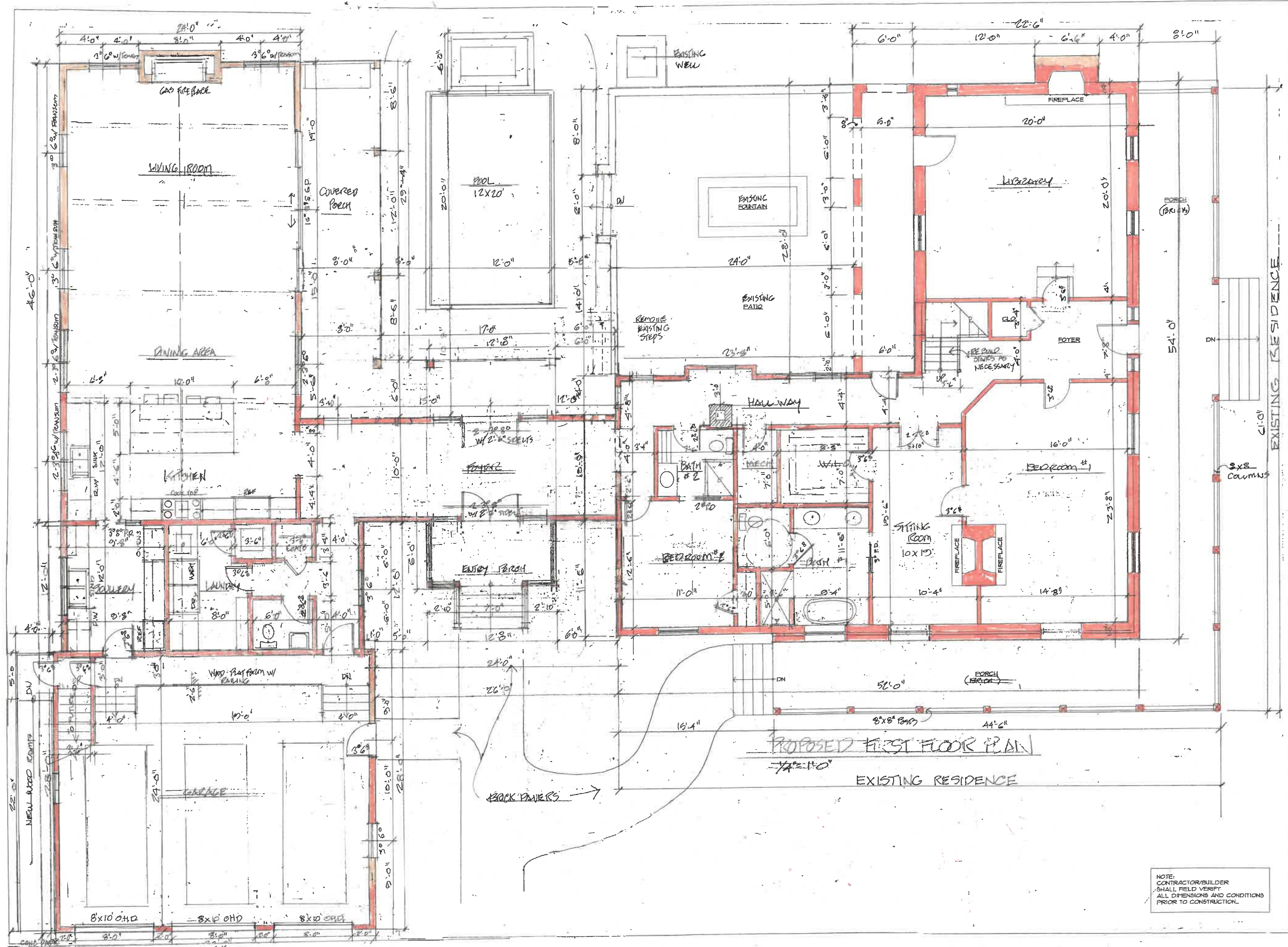
SECTION "A" 1/4"=1'-0"

LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-22
 Scale: AS NOTED
 Drawn: MURPHY
 Pile: GRIFFIN

SHEET
 A6



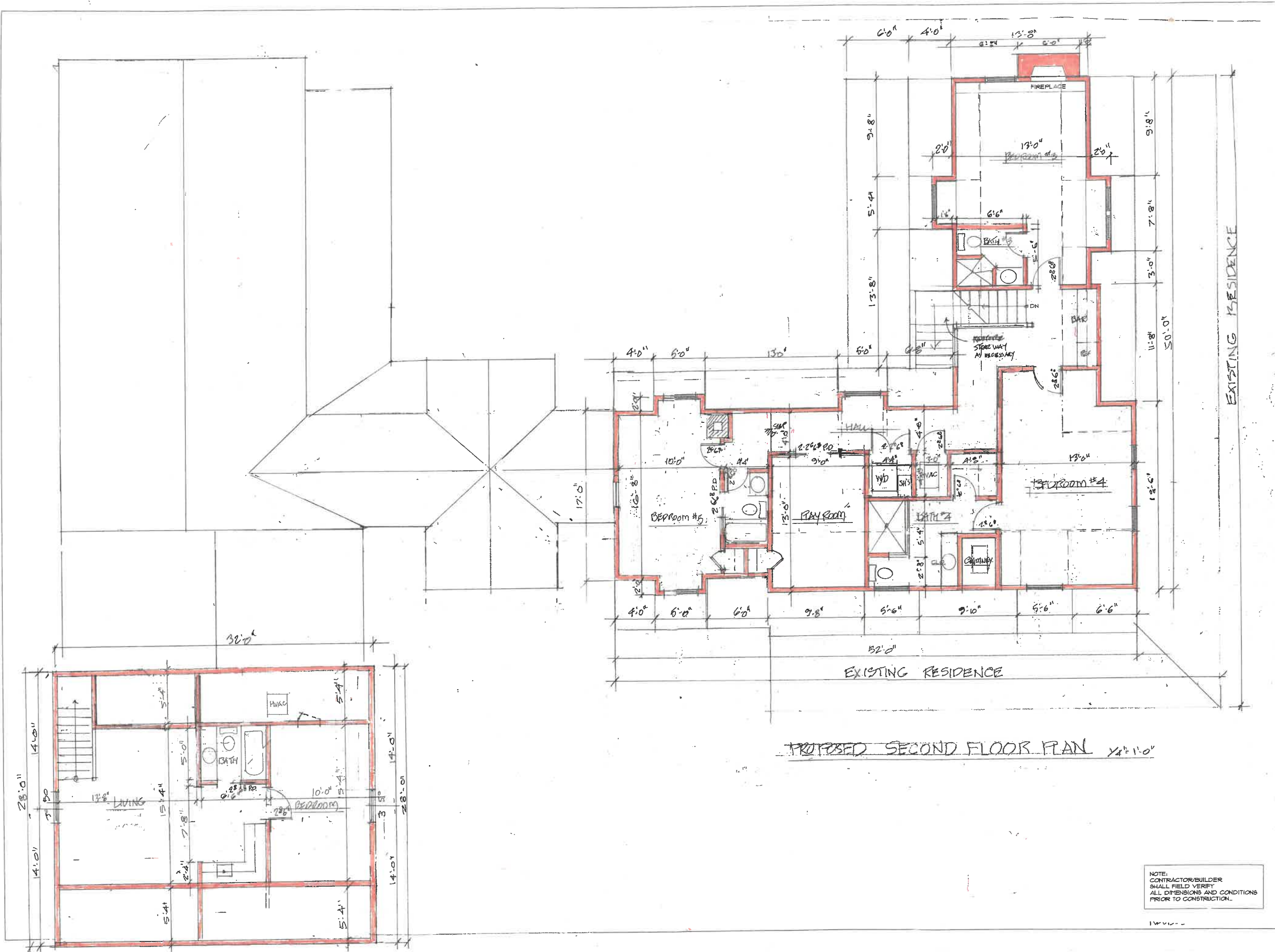
LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-02
 Scale: AS NOTED
 Drawn: MURPHY
 File: GRIFFIN

SHEET
 A7

NOTE:
 CONTRACTOR/BUILDER
 SHALL FIELD VERIFY
 ALL DIMENSIONS AND CONDITIONS
 PRIOR TO CONSTRUCTION.



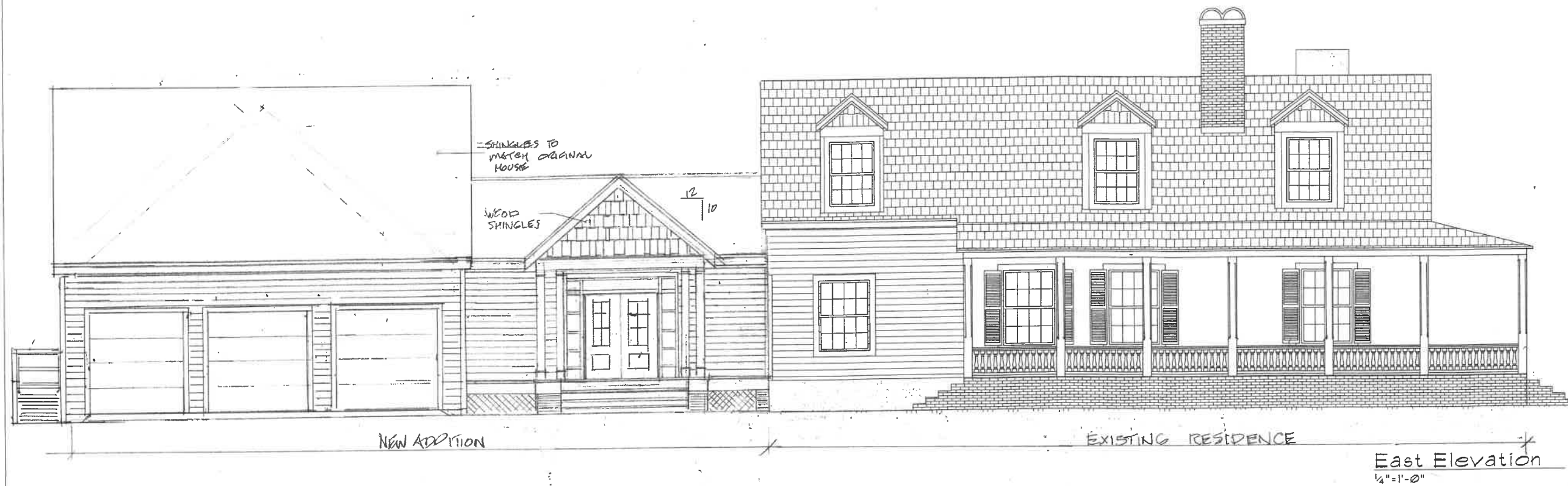
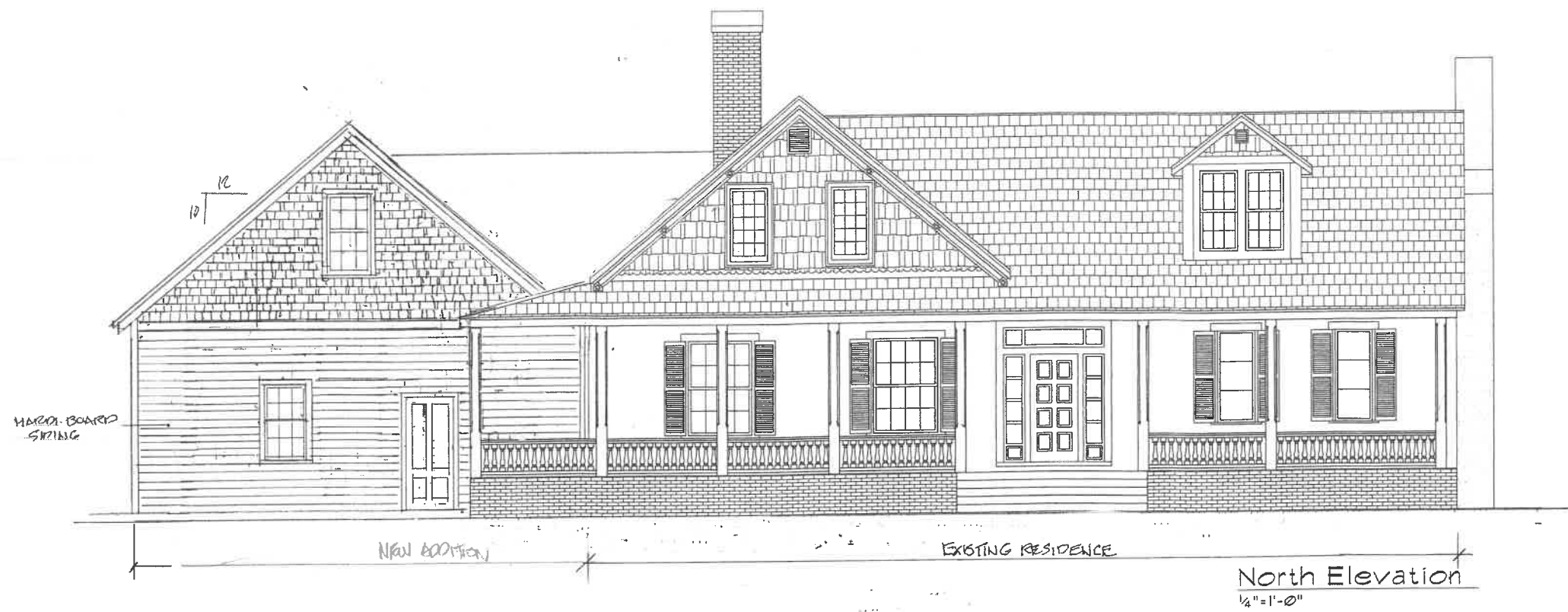
LES THOMAS
 A R C H I T E C T
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-22
 Scale: AS NOTED
 Drawn: MURPHY
 Plo: GRIFFIN

SHEET
 A8

NOTE:
 CONTRACTOR/BUILDER
 SHALL FIELD VERIFY
 ALL DIMENSIONS AND CONDITIONS
 PRIOR TO CONSTRUCTION.



LES THOMAS
ARCHITECT

32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE

115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A9



South Elevation
1/4"=1'-0"



WEST ELEVATION

LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 6-1-22
Scale: AS NOTED
Drawn: MURPHY
Pld: GRIFFIN

SHEET
A10

YALLAHA, 115 BRIDGE STREET

1. Site, facing south

2 Photo 1-1



1. Site, facing southwest, showing orange trees

2 Photo 1-2



YALLAHA, 115 BRIDGE STREET

1. Site, facing south, entrance columns

2 Photo 1-3



1. Site, facing south, site of former non-historic outbuilding

2 Photo 1-4



YALLAHA, 115 BRIDGE STREET

1. Site, facing west, preserved historic well
2. Photo 1-5



1. Site, facing west, preserved patio, fountain
2. Photo 1-6



YALLAHA, 115 BRIDGE STREET

1. Site, facing south, Sanford Street

2 Photo 1-7



1. Site, facing west from Sanford Street

2 Photo 1-8



YALLAHA, 115 BRIDGE STREET

1. North (main) facade, facing south, post renovation

2 Photo 2-1



1. North elevation, facing south,

2 Photo 2-2



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, foundation

2 Photo 2-3



1. North elevation, facing south, steps

2 Photo 2-4



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, main entrance

2 Photo 2-5



1. North elevation, facing south, dormer with fish-scale shingles

2 Photo 2-6



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, repaired porch roof

2 Photo 2-7



1. North elevation, facing south, repaired porch roof

2 Photo 2-8



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, post renovation

2 Photo 3-1



1. East elevation, facing west, repaired foundation

2 Photo 3-2



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, repaired roof

2 Photo 3-3



1. East elevation, facing west, dormer, chimney

2 Photo 3-4



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, repaired, roof, dormer

2 Photo 3-5



1. East elevation, facing west, window/removed AC unit

2 Photo 3-6



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, repaired foundation

2 Photo 3-7



1. East elevation, facing north, repaired steps

2 Photo 3-8



YALLAHA, 115 BRIDGE STREET

1. South elevation, facing north

2 Photo 4-1



1. South elevation, facing east, hyphen, replacing non-historic carport

2 Photo 4-2



YALLAHA, 115 BRIDGE STREET

1. South elevation, facing north, loggia

2 Photo 4-3



1. South elevation, facing north, dormer

2. Photo 4-4



YALLAHA, 115 BRIDGE STREET

1. West elevation, facing south, coquina chimney

2 Photo 5-1



1. West elevation, facing east, exposed coquina

2 Photo 5-2



YALLAHA, 115 BRIDGE STREET

1. West elevation, facing east, rear wing
- 2 Photo 5-3



1. West elevation, facing east, dormer
- 2 Photo 5-4



YALLAHA, 115 BRIDGE STREET

1. Roof, facing south
2. Photo 6-1



1. Roof, facing south
2. Photo 6-2



YALLAHA, 115 BRIDGE STREET

1. Roof, facing north, condition
- 2 Photo 6-3



1. Elevation, facing west, joint between original roof/rear addition
- 2 Photo 6-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing west, coquina wall, former dining room

2 Photo 7-1



1. Interior, 1st floor, facing east, former dining room

2 Photo 7-2



1. Interior, 1st floor, facing north, coquina wall, former dining room

2 Photo 7-3



1. Interior, 1st floor, facing south, former dining room

2 Photo 7-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing south, parlor/coquina fireplace

2 Photo 7-5



1. Interior, 1st floor, facing east, parlor/wood floor

2 Photo 7-6



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing south, foyer/restored stairway

2 Photo 7-7



1. Interior, 1st floor, facing west, foyer/restored stairway

2 Photo 7-8



1. Interior, 1st floor, facing south, restored corridor

2 Photo 7-9



1. Interior, 1st floor, facing north, foyer/restored entrance

2 Photo 7-10



1. Interior, 1st floor, facing east, parlor

2 Photo 7-11



1. Interior, 1st floor, facing north, parlor/coquina fireplace

2 Photo 7-12



1. Interior, 1st floor, facing north, 1st floor corridor

2 Photo7-13



1. Interior, 1st floor, facing south, 1st floor hall between historic building and new construction

2 Photo7-14



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing west, apt. bedroom

2 Photo 8-1



1. Interior, 2nd floor, facing east, apt. bedroom

2 Photo 8-2



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing south, restored stair to 2nd floor

2. Photo 8-3



1. Interior, 2nd floor, facing north, former apt.

2. Photo 8-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing east, former apt.
2. Photo 8-5



1. Interior, 2nd floor, facing east, former apt.
2. Photo 8-6



1. Rear addition, facing west non-historic carport removed, hyphen added

2 Photo 9-1



1. Rear addition, facing west, non-historic carport removed

2 Photo 9-2



1. Rear addition, facing east, non-historic carport removed, hyphen added

2 Photo 9-3



1. Rear addition, facing east

2. Photo 9-4

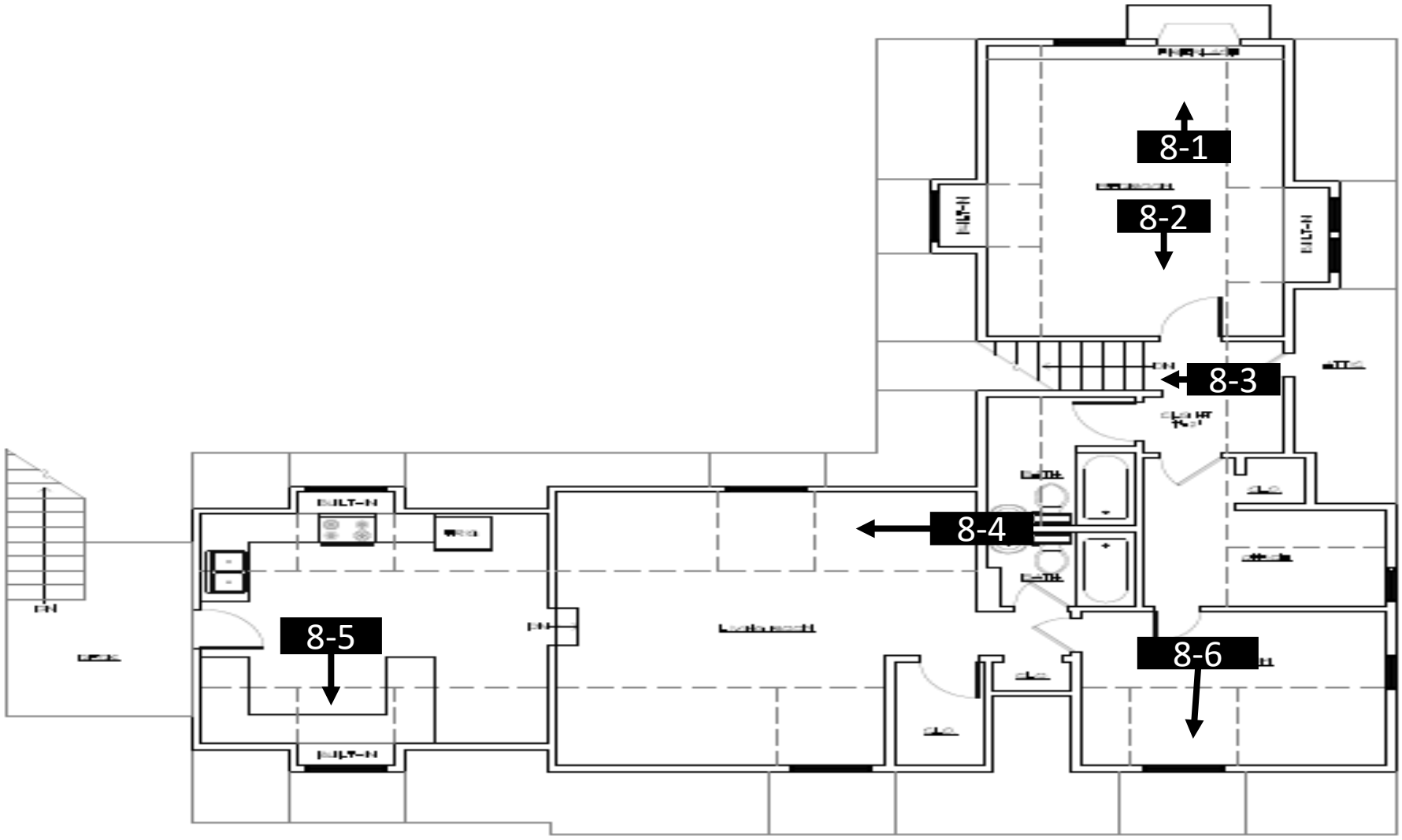


1. Rear addition, facing south

2 Photo 9-5

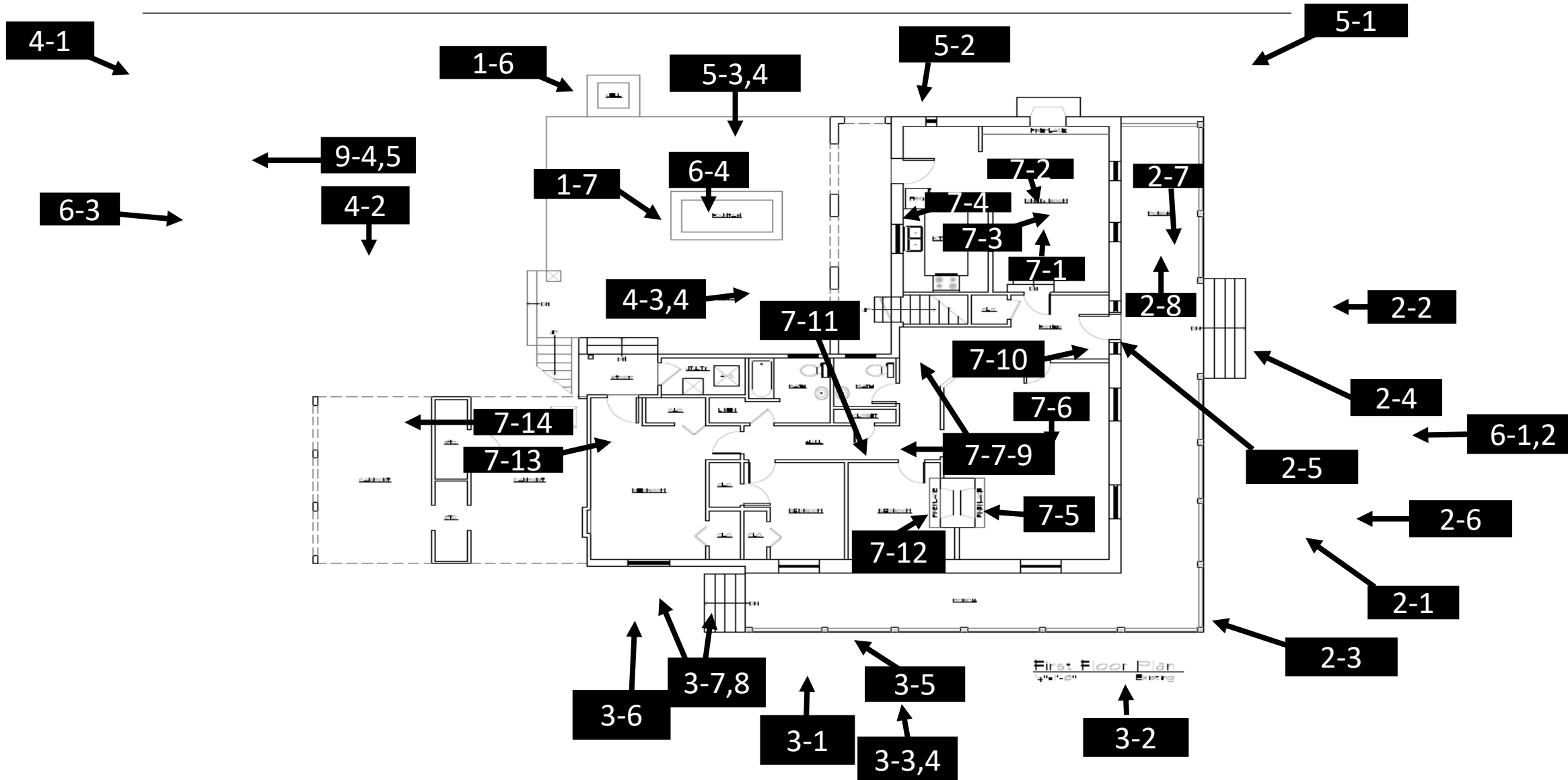


YALLAHA
115 BRIDGE STREET/PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

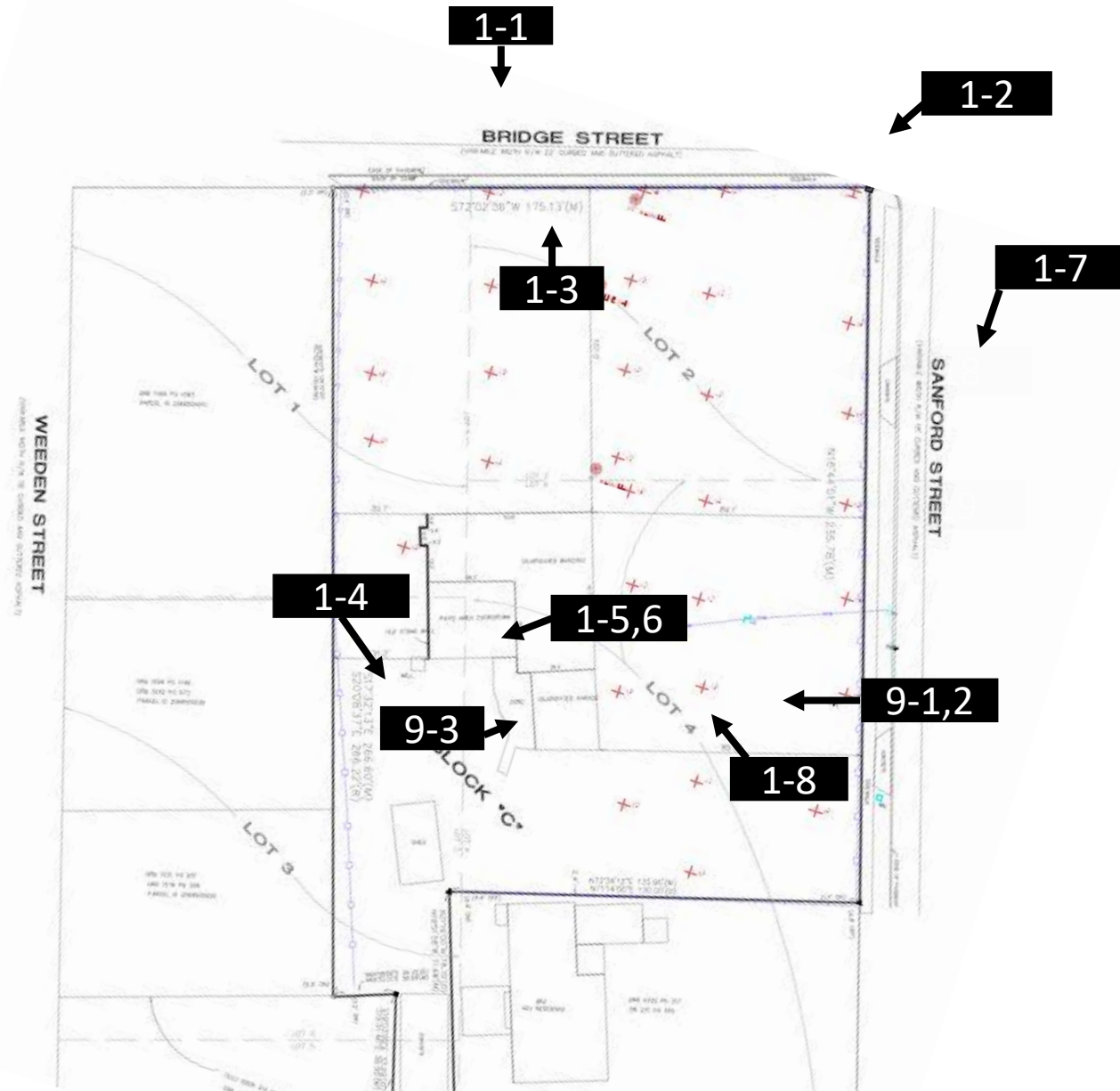


Second Floor Plan
4" = 1'-0" Existing

YALLAHA
115 BRIDGE STREET/ PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT



YALLAHA
115 BRIDGE STREET/ PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT



Page Eight – Historic Preservation Property Tax Exemption Application

**PART 1 APPLICATION REVIEW
For Local Historic Preservation Office or Division Use Only**

Property Identification Number 2068500000

Property Address 115 Bridge Street

The Local Preservation Office Division has reviewed the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Certifies that the above referenced property _____ is _____ consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies that the above referenced property _____ consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies that the above referenced property _____ provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- Certifies that the above referenced property _____ provided under s.196.1998, F.S.

Review Comments: Please see the Historic Architectural Review Board (HARB) order dated April 21, 2022 and the staff report attached for PART I and II.

Additional Review Comments attached? Yes No

Signature *Julie E Courtney*
Typed or printed name Julie E. Courtney
Title Historic Preservation Officer
Date April 21, 2022

Page Nine – Historic Preservation Property Tax Exemption Application

PART 2 APPLICATION REVIEW
For Local Historic Preservation Office or Division Use Only

Property Identification Number 2068500000

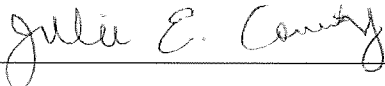
Property Address 115 Bridge Street

The Local Preservation Office Division has reviewed the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Determines that improvements to the above referenced property **are consistent** with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.
- Determines that improvements to the above referenced property **are not consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings**, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria are identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.*

Review Comments: Please see the Historic Architectural Review Board (HARB) order dated April 21, 2022 and the staff report attached for PART I and II.

Additional Review Comments attached? Yes No

Signature 

Typed or printed name Julie E. Courtney

Title Historic Preservation Officer

Date April 21, 2022



April 21, 2022

Bridge Street Estates, LLC
5243 E Grandview Rd
Scottsdale, AZ 85254

cc: Joseph Griffin

Re: Certificate of Appropriateness for a Historic Preservation Ad Valorem Tax
Exemption – 115 Bridge Street – HP2022-0027

Dear Bridge Street Estates, LLC,

On April 21, 2022, the Historic Architectural Review Board (HARB) met and discussed your application to review parts I and II of a Historic Preservation Ad Valorem Tax Exemption application including proposed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

Specifically, based upon evidence presented, the HARB **APPROVED** your application as described in the attached copy of the executed Order.

Please contact the Planning and Building Department at (904) 825-1065 with any questions and for the proper permits, archaeology review, fees and requirements to proceed with the approved elements of your project in accordance with the Historic Architectural Review Board's decision. Applications for building permits will be required and must be submitted electronically with formalized digital signature. HARB documents are not accepted for issuance of a building permit and applications must meet all city standards prior to permit issuance.

Sincerely,

Amy McClure Skinner, AICP
Director, Planning & Building

cc: John P. Regan, City Manager
Isabelle Lopez, City Attorney
Darlene Galambos, City Clerk
BDAC File

BEFORE THE
HISTORIC ARCHITECTURAL REVIEW BOARD FOR THE
CITY OF ST. AUGUSTINE, FLORIDA

TYPE OF REQUEST:

- | | |
|---------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Certificate of Completeness and Recommendation for Historic Property Tax Exemption |
| <input type="checkbox"/> Certificate of Demolition | <input type="checkbox"/> Opinion of Appropriateness |
| <input type="checkbox"/> Certificate of Relocation | |
| <input checked="" type="checkbox"/> Certificate of Appropriateness for Preservation Approach for Ad Valorem Tax Exemption | |

IN THE MATTER OF:

Case No.: HP2022-0027
Applicant: Bridge Street Estates, LLC
Owner: Joseph Griffin
Address: 115 Bridge Street
Parcel Number: 2068500000

RE: Certificate of Appropriateness for a Historic Preservation Ad Valorem Tax Exemption, pursuant to Section 28-89, City of St. Augustine Code, to review parts I and II of a Historic Preservation Ad Valorem Tax Exemption application including proposed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

THE HISTORIC ARCHITECTURAL REVIEW BOARD HAS HEARD TESTIMONY AND EXAMINED EVIDENCE AT A PUBLIC HEARING HELD ON APRIL 21, 2022, AND BASED ON THE TESTIMONY AND EVIDENCE, THE BOARD HAS DETERMINED AS FOLLOWS:

FINDINGS OF FACT AND CONCLUSIONS OF LAW:

1. Applicant is the legal owner, occupant, and/or representative of the owner/occupant of the subject property and duly submitted an application with the owner's knowledge, and was duly notified of the hearing, in accordance with Chapter 28 of the Code of the City of St. Augustine. The applicant or representative was present at the April 21, 2022, Historic Architectural Review Board meeting and testified under oath, or was not present.
2. A public hearing was held, with notice given as required by law, and members of the public testified under oath, or no members of the public spoke on this issue.
3. The subject property has a zoning classification of RS-2.
4. The above-described Certificate of Appropriateness for a Historic Preservation Ad Valorem Tax Exemption is subject to Section 28-89 of the Code of the City of St. Augustine.

ORDER:

Based upon the evidence presented, the Historic Architectural Review Board determined that the requested action **MEETS** / **DOES NOT MEET** the requirements of Section 28-89, City of St. Augustine Code, and **APPROVES** / **DENIES** / **CONTINUES** the Applicant's request to review parts I and II of a Historic Preservation Ad Valorem Tax Exemption application including proposed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

Subject to the following conditions:

- As submitted
- _____
- _____
- _____
- _____
- _____
- _____
- _____

DONE AND ORDERED, at a public hearing on the 21 day of April, A.D., 2022, in the Alcazar Room, 75 King Street, St. Augustine, Florida.

Case No. HP2022-0027

REQUEST **APPROVED** / **DENIED** / **CONTINUED**

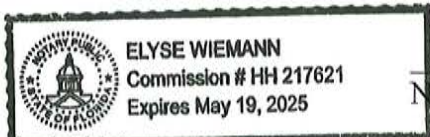
Catherine Duncan
Sign Name

Catherine Duncan
Print Name
HISTORIC ARCHITECTURAL REVIEW BOARD
CITY OF ST. AUGUSTINE, FLORIDA

STATE OF FLORIDA, COUNTY OF ST. JOHNS

I HEREBY CERTIFY that on this day, personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Catherine Duncan, by means of [] physical presence or [] online notarization, who is personally known to me and who is the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same for the purposes therein expressed.

Witness my hand and official seal, this 21st day of April, A.D., 2022.



Elyse Wiemann
Notary Public, State of Florida

Historic Preservation Property Tax Exemption Application
Part 1 – Evaluation of Property Eligibility

Read the attached instructions carefully before completing this application. Your application cannot be evaluated unless it is complete and all required supporting materials are provided. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence. Type or print clearly in black ink. If additional space is needed, attach additional sheets.

GENERAL INFORMATION (To be completed by all applicants)

1. Property identification and location:

Property Identification Number (from tax records): 2068500000 _____ *Attach legal description of property*

Address of property: Street 115 Bridge Street

City St. Augustine County St. Johns Zip Code 32084

- Individually National Register listed
- In a National Register district
- Locally designated historic property or landmark*
- In a locally designated district

** For applications submitted to the Division of Historical Resources, attach a copy of the local designation report for the property and the official correspondence notifying the property owner of designation.*

Name of historic district Lincolville Historic District

For locally designated historic properties or landmarks, or properties located in locally designated historic districts, provide the following additional information:

Name of local historic preservation agency/office City of St. Augustine

Mailing Address 75 King Street

City St. Augustine State FL Zip Code 32084

Telephone Number (904) 209-4326

2. Type of request:

- Exemption under 196.1997, F.S. (standard exemption)
- Exemption under 196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public) *If applying under s. 196.1998, F.S., complete Question 9 on page five.*

3. Owner information:

Name of individual or organization owning the property Bridge Street Estates, LLC

Mailing address 5243 E. Grandview Rd.

City Scottsdale State AZ Zip code 85254

Daytime Telephone Number (602) 8821979

If the property is in multiple ownership, attach a list of all owners with their mailing addresses.

Page Two – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

4. Owner Attestation: I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Joe Griffin  3/22/22
Name Signature Date

Complete the following if signing for an organization or multiple owners:

Owner Bridge Street Estates, LLC
Title Organization name

EVALUATION OF PROPERTY ELIGIBILITY

(To be completed only for properties in historic or archaeological districts):

5. Description of Physical Appearance:

Yallaha, 115 Bridge Street, is a frame and masonry vernacular residential building dating to c.1815. It rises one-and-a-half stories in height. Its foundation is coquina and brick, and its structural system is coquina and wood frame. The coquina structural walls at the NW corner date to c. 1815 and most of the remainder to c. 1845. It has an ell-shaped ground plan, and a gable roof with gable dormers. It is one of the more prominent properties in Lincolnville and its grounds are the remnants of a Spanish land grant and orange grove known as Yallaha or the Mitchell Grove. An historic well appears on an 1876 lithograph of the property. The first floor features a parlor with a coquina fireplace, three bedrooms, an entrance foyer, bathrooms, and a kitchen/dining room in the coquina portion. The upper story has two apartments. C. 1970 the building was renovated to its present configuration by local owner/contractor William Forrester. Currently, the building is in poor condition, vacant and not suitable for occupation

Date of Construction 1815, 1845 Date(s) of Alteration(s) 1970

Has building been moved? ()Yes (X)No If so, when? _____

6. Statement of Significance:

Yallaha, 115 Bridge Street, is one of the outstanding buildings in the Lincolnville Historic District. While the buildings in Lincolnville overwhelmingly date from 1871-1930, Yallaha Plantation House is an outlier. It is the oldest extant building in Lincolnville and the City of St. Augustine outside the colonial city. The coquina portion dates from the Second Spanish Period (1784-1821) and was originally the country home of Dr. Jose Bousquet. In the 1820s, the Board of Land Commissioners of East Florida granted title to the property to Peter Mitchell. Known as the Mitchell Grove, it was acquired in 1845 by the Dumas family and between 1845 and 1876, the building acquired its present configuration. After a number of transactions and alteration, William Forrester, a local contractor, acquired the property in 1955. The Forrester family retained the property until 2021.

Page Three – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

7. Photographs and maps:

Attach photographs and maps to application.



Owner's Authorization For Agent

Les Thomas is/are hereby authorized TO ACT ON BEHALF
OF Joseph Griffin, the owner(s) of those lands described within
the attached application, or described within the previously filed
Application number: HP2022-0027, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:
115 Bridge St. Saint Augustine, FL 32084

BY: [Signature]
Signature of Owner
Joseph Griffin
Print Name of Owner
602-882-1979
Telephone Number

State of Arizona

County of Maricopa

Signed and sworn before me on this 4 day of April, 2022

By Joseph Griffin

Identification verified:

Oath sworn: Yes No

Notary Signature: Laura Page

My Commission expires: 3/31/2024



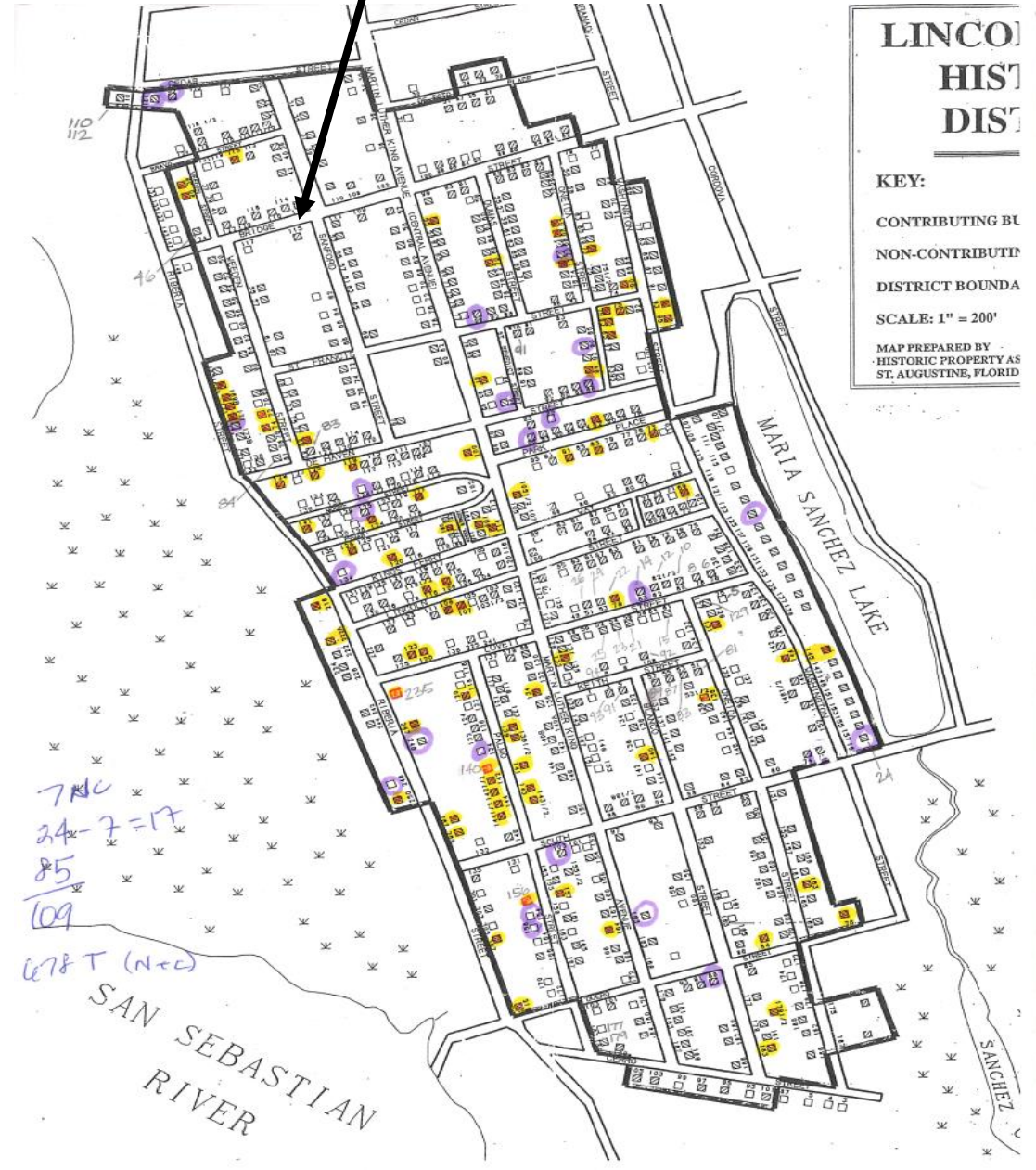
YALLAHA
115 BRIDGE STREET
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



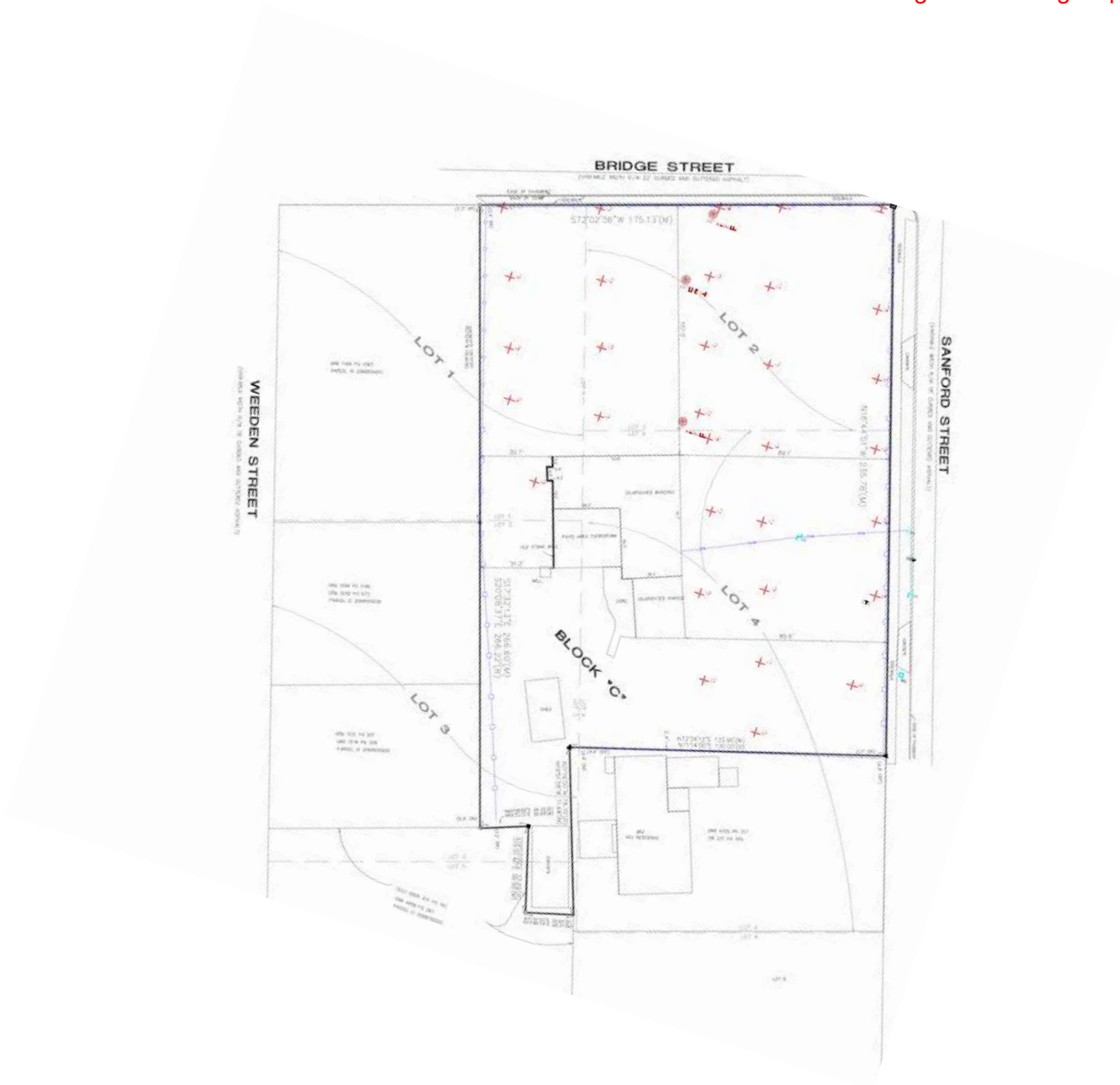
YALLAHA
115 BRIDGE STREET
LINCOLNVILLE HISTORIC DISTRICT

Received March 31, 2022
Planning and Building Department



YALLAHA, 115 BRIDGE STREET SURVEY

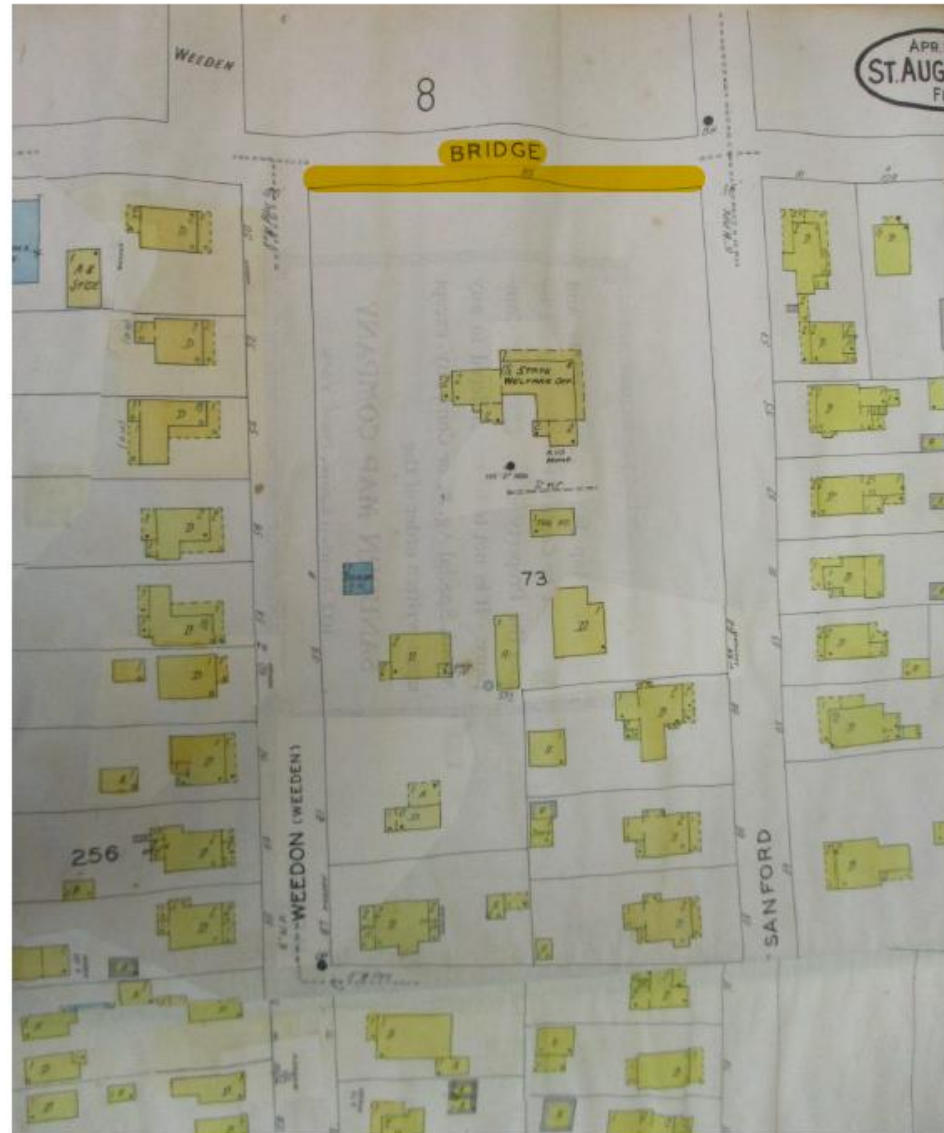
Received March 22, 2022
Planning and Building Department



Sanborn Map (1917)
115 Bridge Street



Sanborn Map (1930 revised to 1965)
115 Bridge Street



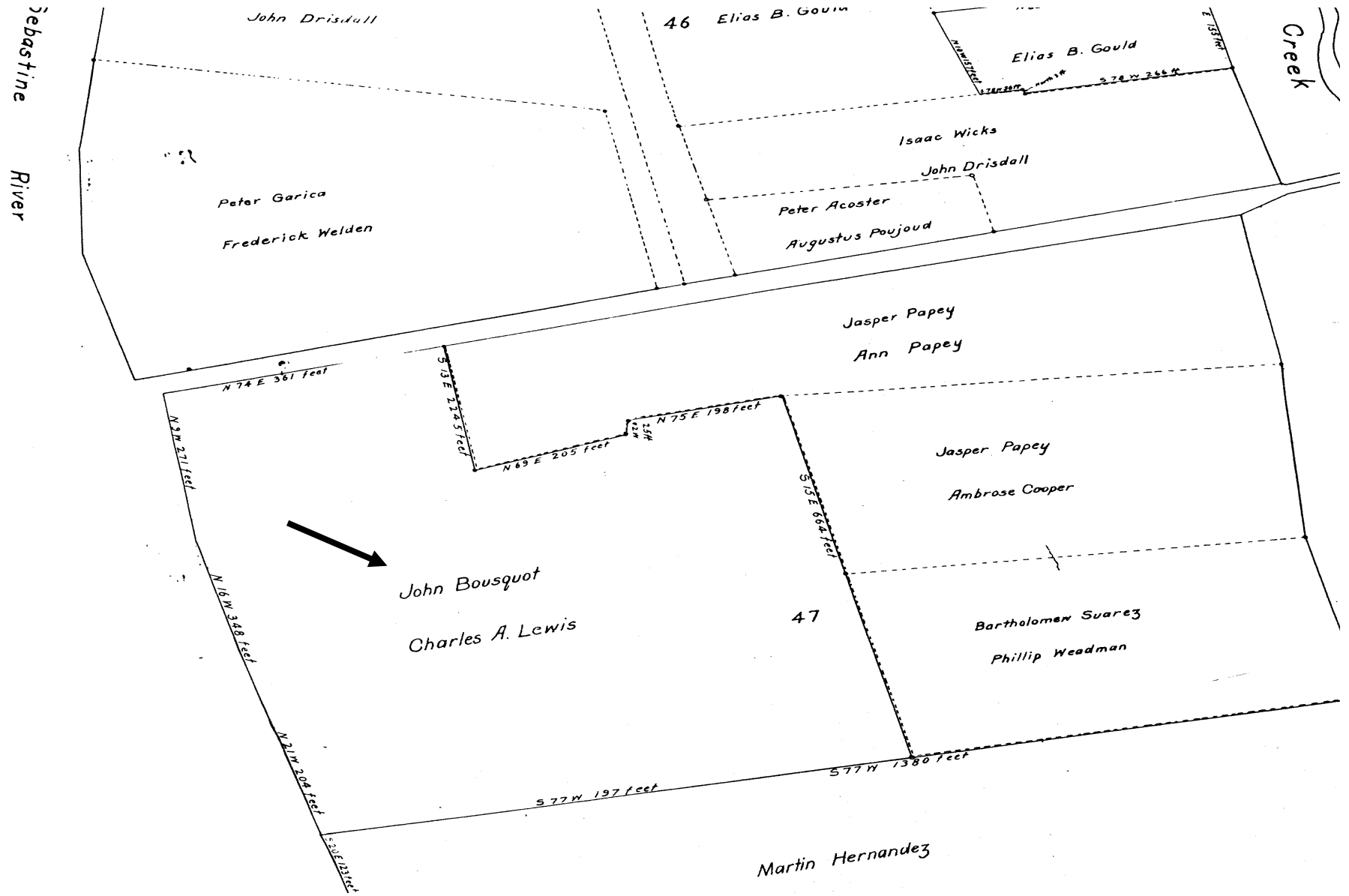
LEGAL DESCRIPTION AND DATA FROM PROPERTY APPRAISER'S OFFICE

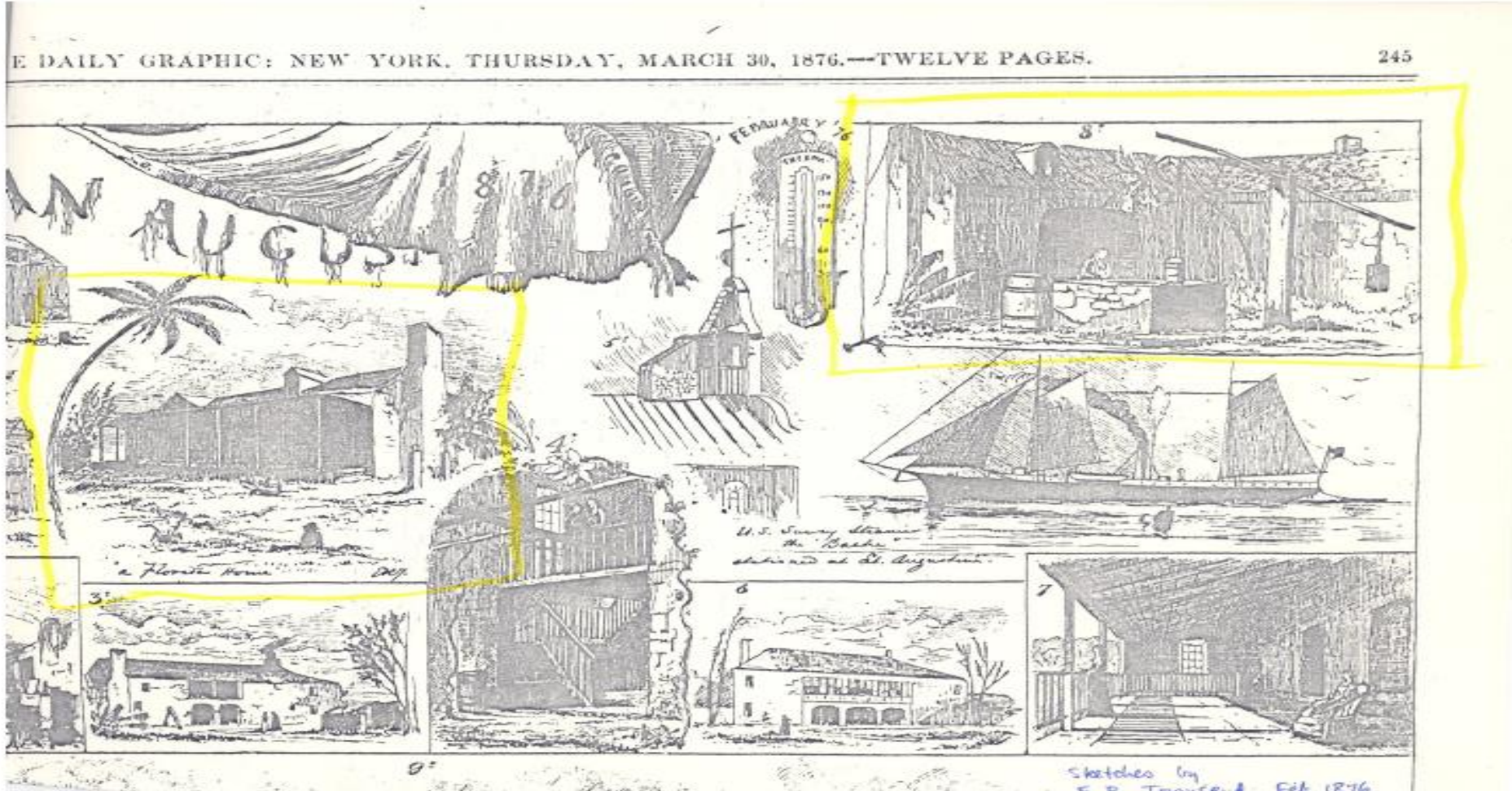
Parcel ID	2068500000
Location Address	115 BRIDGE ST SAINT AUGUSTINE 32084-0000
Neighborhood	Dumas Tract with part City St Aug (622)
Tax Description*	DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4 (EX S75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146) OR5337/918
Property Use Code	Multi-Family (Less than 10 Units) (0800)
Subdivision	Dumas Tract
Sec/Twp/Rng	18-7-30
District	City of St Augustine (District 452)
Millage Rate	19.3368
Acreage	1.040



1834-1835 CLEMENTS US GOVERNMENT SURVEY

Received March 22, 2022
Planning and Building Department





**Historic Preservation Property Tax Exemption Application
 Part 2 – Description of Improvements**

(To be completed by all applicants):

Complete the blocks below. Include site work, new construction, alterations, etc.

Property Identification Number 2068500000

Property Address 115 Bridge Street

Feature 1

<p>Feature <u>Site</u> Approx. date of feature <u>1815, 1845, 1970</u></p> <p>Describe existing feature and its condition: Yallaha is a one-acre parcel located in the Dumas Homestead Subdivision Perimeter of property is defined by a non-historic chain link finish with masonry entrance pillars on Bridge Street. Site features non-historic c. 1970 wooden shed in deteriorated condition, non-historic patio from c. 1970 and historic well.</p> <p>Photo no. <u>1-1-1-8</u> Drawing no. <u>A1</u></p>	<p>Describe work and impact on existing feature:</p> <p>Site will be assessed by the COSA archaeologist and any ground disturbing will be mitigated by professional excavation and recovery of cultural material. Historic well and non-historic patio will be retained. Non-historic wooden shed will be removed. Parking will be provided at rear (south side) of property in its traditional location. Driveway will be added on east side of property through a historic curb cut leading to parking/garage area. A pool will be added in approximate location of pool dating to c. 1970.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 2

<p>Feature <u>North Elevation</u> Approx. date of feature <u>1876, 1970</u></p> <p>Describe existing feature and its condition: Elevation features raised brick and coquina foundation and porch deck with 7 bay entrance porch. Porch is covered with hip roof supported by 7 wooden posts. Remnants of wooden balustrade are found in eastern most bays. First floor exterior wall is stucco. Entrance is accessed by brick steps with concrete finish and has 8 panel wood door with multi-light transom and side lights. Two windows are 8/8 light wooden sash and two are 3 light casements. There are two wood dormers with wood detailing and multilight windows. Porch roof is in poor condition due to water damage.</p> <p>Photo no. <u>2-1-2-9</u> Drawing no. <u>A4, A6, A8</u></p>	<p>Describe work and impact on existing feature:</p> <p>Foundation/porch deck will be stabilized with spot repairs. Stucco will be retained and repaired as needed. Entrance door and sidelights will be retained with minor repairs and repainted. Wooden posts are sound and will be repaired and replaced in their original location. Porch roof will be reconstructed of wood and finished with a 40 year architectural shingle. Wooden features in dormers, including decorative shingles, will be selectively repaired. Windows will be repaired or replaced in kind. Casement windows at first floor level will be replaced with 6/6 light sash windows which are more in character with historic architecture.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 3

<p>Feature <u>East Elevation</u> Approx. date of feature <u>1876, 1970</u></p> <p>Describe existing feature and its condition: E. elevation continues foundation and porch found on N. elevation. Porch is six bays wide with wood balustrade in all bays. There are four 8/8 light wooden sash windows on the first floor. Upper half story features three gabled dormers with 4/4 light wooden sash windows. Porch roof has suffered extensive water damage and has failed in several locations.</p> <p>Photo no. <u>3-1-3-6</u> Drawing no. <u>A4, A6, A8</u></p>	<p>Describe work and impact on existing feature:</p> <p>Foundation/porch deck will be stabilized with spot repairs. Balustrade will be restored by replicating existing porch to its c. 1980 appearance. Stucco will be retained and repaired as needed. Wooden posts are sound and will be repaired and replaced in their original location. Porch roof will be reconstructed and finished with a 40 year architectural shingle. Wooden features in dormers will be selectively repaired. Windows will be repaired or replaced in kind.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Page Five – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

Feature 4

<p>Feature South Elevation _____ Approx. date of feature <u>1876,1970</u></p> <p>Describe existing feature and its condition: Features include a three-bay wide, unfinished coquina loggia at first floor which dates to c. 1970. Loggia is covered by shed roof finished with composition shingles. West portion of existing south exterior wall is original while eastern portion is coquina veneer. Upper half story has single gable dormer with 8/8 light wooden sash window. Eastern side of elevation features a c. 1970 non-historic wooden carport and a non-historic wooden stair leading to a non-historic wooden deck.</p> <p>Photo no.4-1-4Drawing no. <u>A5,A6,A9</u></p>	<p>Describe work and impact on existing feature:</p> <p>Non-historic wooden carport, stairs and deck will be removed in preparation of compatible addition. Features on south elevation will be retained and selectively repaired. A new wooden, 4/4 light sash window will be added in first floor of main building. A second new wooden, 4/4 light sash window will be added in second floor of south wing.</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 5

<p>Feature West Elevation _____ Approx. date of feature <u>1815 1876,1970</u></p> <p>Describe existing feature and its Condition:</p> <p>West elevation contains original c. 1815 coquina structural wall of building. Coquina is partially finished with stucco and features chimney and a narrow aperture window. Southern portion of elevation is finished with weatherboard on first floor level and has a single 8/8 light sash window. The upper half story has two gable dormers with 8/8 light wooden sash windows.</p> <p>Photo no.5-1-5-4Drawing no. <u>A5-A6, A9</u></p>	<p>Describe work and impact on existing feature:</p> <p>Features on south elevation will be retained and selectively repaired with matching materials. Two new wooden, 4/4 light sash windows will be added in first floor of main building.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 6

<p>Feature Roof _____ Approx. date of feature <u>1876, 1990</u></p> <p>Describe existing feature and its condition:</p> <p>Main roof is a side facing gable type and finished with composition shingles. East slope of the roof is broken with a double-flued brick chimney finished with stucco with half round caps. West slope is broken by a later brick chimney which likely serviced a kitchen. Southern portion of main roof is an historic addition with slightly higher ridge and slope. Leaks have caused damage around fringes of roof but historic roof structure is sound.</p> <p>Photo no. 6-1-6-6Drawing no. <u>A4-6,A8-9</u></p>	<p>Describe work and impact on existing feature:</p> <p>Existing roof material will be removed and underlying roof structure will be selectively repaired. New roof surfacing will be 40 year architectural shingle over a ice and water membrane(peel and stick) with stainless steel fasteners. This roof surfacing will best conform with the anomalies (uneven ridge/roof slope) in existing historic roof while giving good wind load characteristics. Historic roof structure is significant and sound and will be stabilized and retained. Both chimneys will be retained and selectively repaired. Masonry repairs will done in accordance with National Park Service Historical Preservation – Technical Procedures. Loose brick will be secured. All brick, mortar joints will be cleaned with moderate pressure, using cleaning product(s) suggested by masonry restoration company. Excessive sized cracks will be grouted with mortar. All holes in brick will be filled with a specialty mortar mix to best match the brick.</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Page Six – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

Feature 7

<p>Feature Interior, 1st Floor _____ Approx. date of feature <u>1880, 1960</u></p> <p>Describe existing feature and its condition:</p> <p>First floor features living room, three bedrooms, an entrance foyer, bathrooms. Living room has original wooden floors, stucco walls, beamed ceiling and a large, unfinished coquina fire place. Rear (south) room configuration dates to 1960s Food Stamp Office. Kitchen/dining room is heavily remodeled. West wall of dining room features an unfinished coquina wall with a fireplace. East side of 1st floor has suffered significant water and termite damage.</p> <p>Photo no. <u>7-1-7-7</u> Drawing no. <u>A2, A7</u></p>	<p>Describe work and impact on existing feature:</p> <p>Non-historic partition and finishes in kitchen will be removed. A library consistent with historic open plan will be created. Floors in library will be wood, and walls and ceilings will be drywall. Stair hall will be retained and historic interior access to second floor will be restored. Parlor and fireplace will be retained in present configuration. Wood floor will be retained and deteriorated portions will be replaced with floor boards that closely match existing. Non-historic partitions in south wing will be partially removed and hallway will be created in what is believed to be its historic location. In order to minimize impact on historic features, new bathrooms will be located in this highly altered, service area of building. Chimney in this area will be retained.</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 8

<p>Feature Interior, 2nd Floor _____ Approx. date of feature <u>1880, 1960</u></p> <p>Describe existing feature and its condition:</p> <p>Upper half floor has two one-bedroom apartments which date to c. 1970 when building was converted to tri-plex. Attic story is documented by 1876 lithograph. Apartments are accessed by a stair from the patio and a stair leading to a deck on the south end of the rear wing. West apartment has wood floors, wood paneled walls and drywall ceiling. There is a modern brick fireplace in the west wall of the living room. East apartment has wooden floors and dry wall ceiling and wall finishes. This portion of second floor is a later c. 1900 service addition.</p> <p>Photo no. <u>8-1-8-7</u> Drawing no. <u>A3, A8</u></p>	<p>Describe work and impact on existing feature:</p> <p>Historic interior stair access to second floor will be restored to create a single unit. West bedroom will be created and brick fireplace will be retained. Bathroom will be added on east side of bedroom. Some reconfiguration of central rooms where non-historic bathrooms, closet are located will be undertaken to integrate former apartments through new hall. Chimneys will be retained. In order to minimize impact on historic features, new bathrooms will be located in south wing, a highly altered, service area of building.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 9

<p>Feature Rear Addition _____ Approx. date of feature <u>1970</u></p> <p>Describe existing feature and its condition:</p> <p>Rear addition will be located south of main building in area where non-historic carport c. 1970 and non-historic c. 1970 one story concrete and plywood storage building are located. Both non-historic structures are in deteriorated condition due to deferred maintenance and water damage.</p> <p>Photo no. <u>9-1-9-3</u> Drawing no. <u>A1, A9-11</u></p>	<p>Describe work and impact on existing feature:</p> <p>Compatible addition will be built at rear of property. Non-historic carport and storage building will be removed. Addition will be located on least conspicuous area of property where parking and service structures have been traditionally located and will be attached at rear of south wing where carport is presently located. Area where attachment will be made has been heavily remodeled. Addition will have no impact on historic features and will be reversible. A hyphen in the form of an entrance/hallway will serve as transition between historic building and new addition. Hyphen will be 10' wide and provide a 25.6' long separation from historic building. Addition will be wood frame and of compatible design and will be subordinate in height to historic structure.</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Page Seven – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

Property Use (To be completed by all applicants):

1. Use(s) before improvement: Office/tri-plex

2. Proposed use(s) after improvement: Residential

Special Exemption (Complete only if applying for exemption under s. 196.1998, F.S. (property occupied by non-profit organization or government agency and regularly open to the public):

NOTE: Applicants should check with local officials to determine whether or not the exemption program offered by their municipal government and/or county allows the special exemption provided by s. 196.1998, F.S.

1. Identify the governmental agency or non-profit organization that occupies the building or archaeological site:

2. How often does this organization or agency use the building or archaeological site? _____

3. For buildings, indicate the total useable area of the building in square feet. (For archaeological sites, indicate the total area of the upland component in acres) _____ square feet () acres ()

4. How much area does the organization or agency use? _____ square feet () acres ()

5. What percentage of the usable area does the organization or agency use? _____ %

6. Is the property open to the public ()Yes ()No If so, when? _____

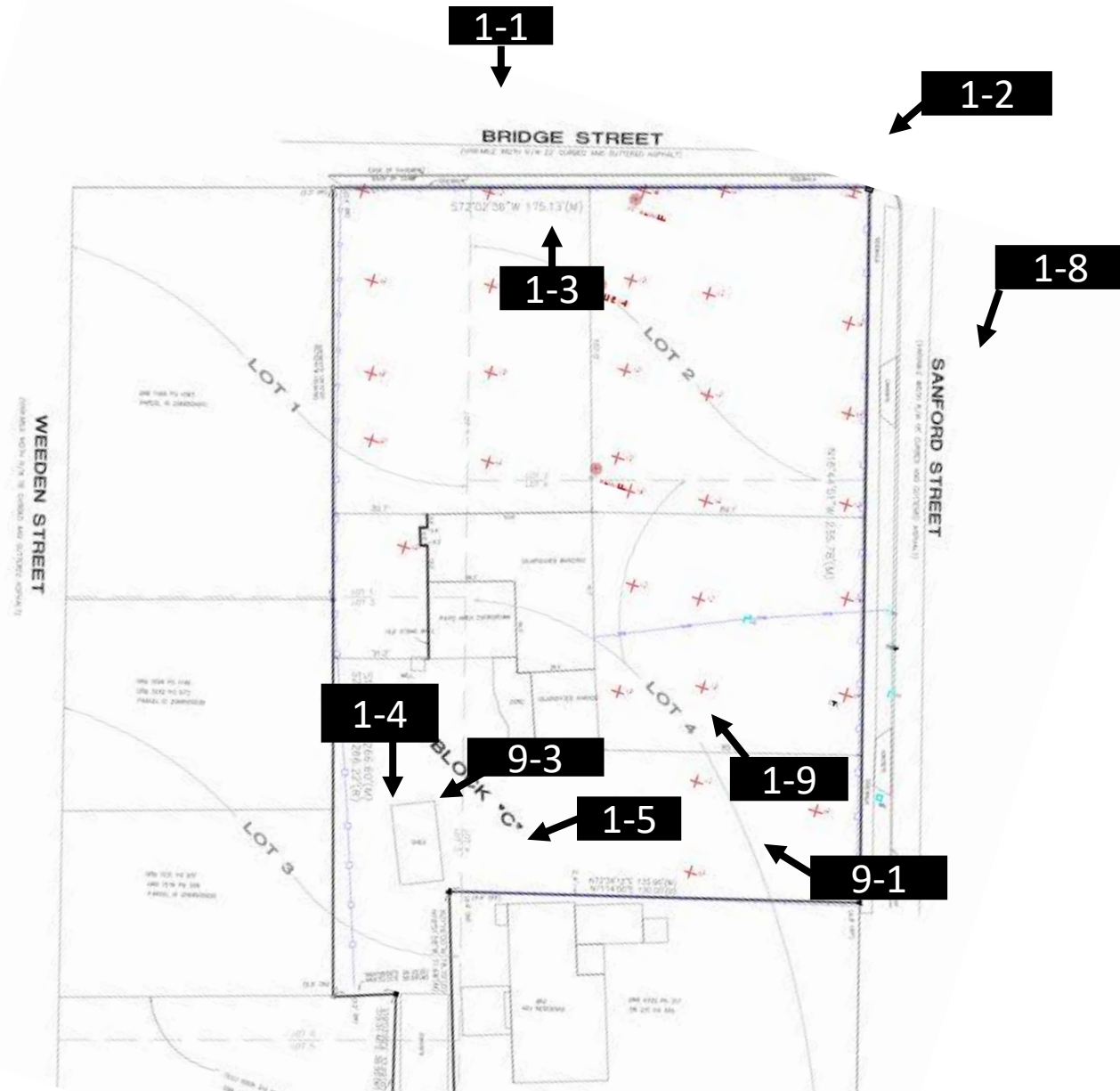
7. Are there regular hours? ()Yes ()No If so, what are they? _____

8. Is the property also open by appointment? ()Yes ()No

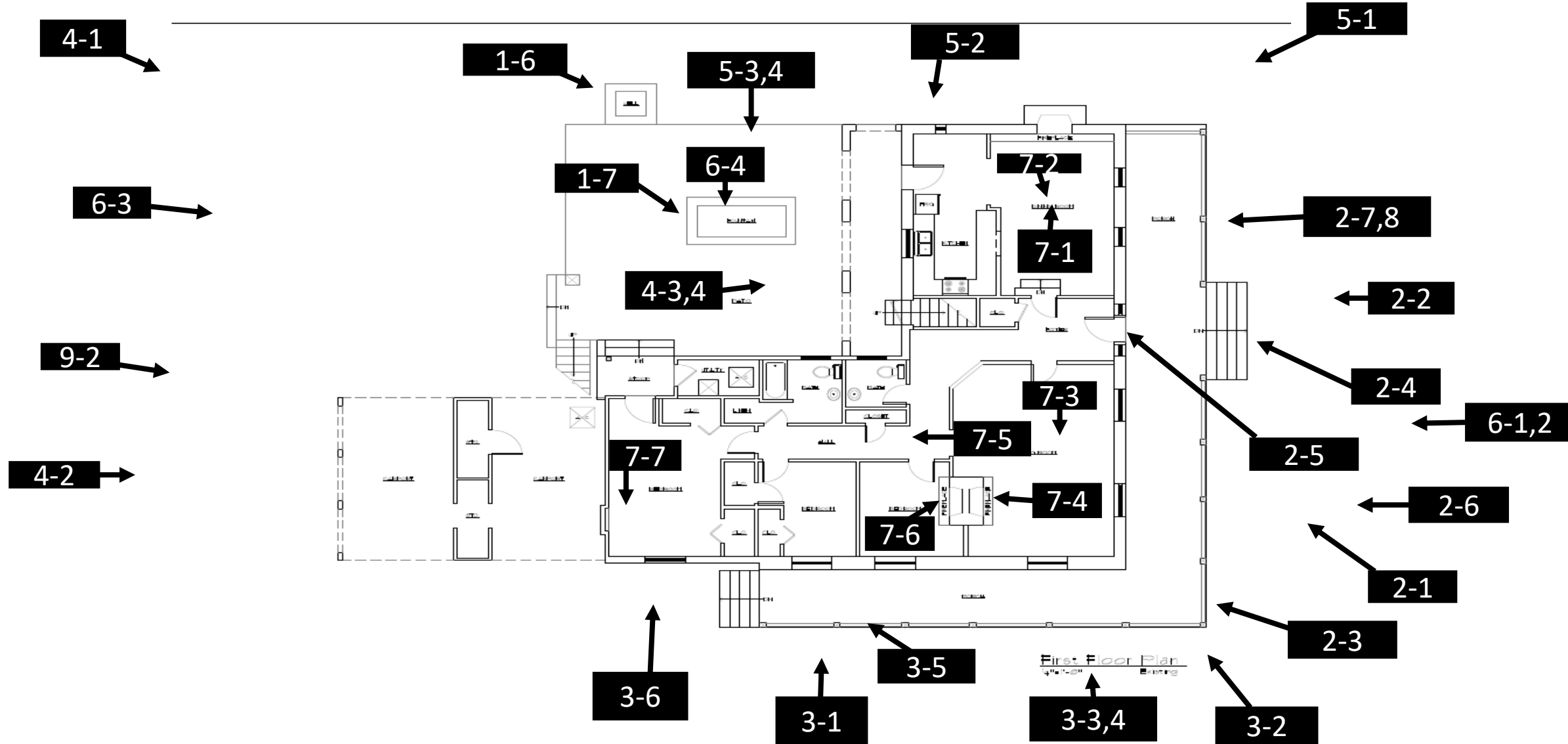
9. Is the property open only by appointment? ()Yes ()No

YALLAHA
115 BRIDGE STREET/ PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department

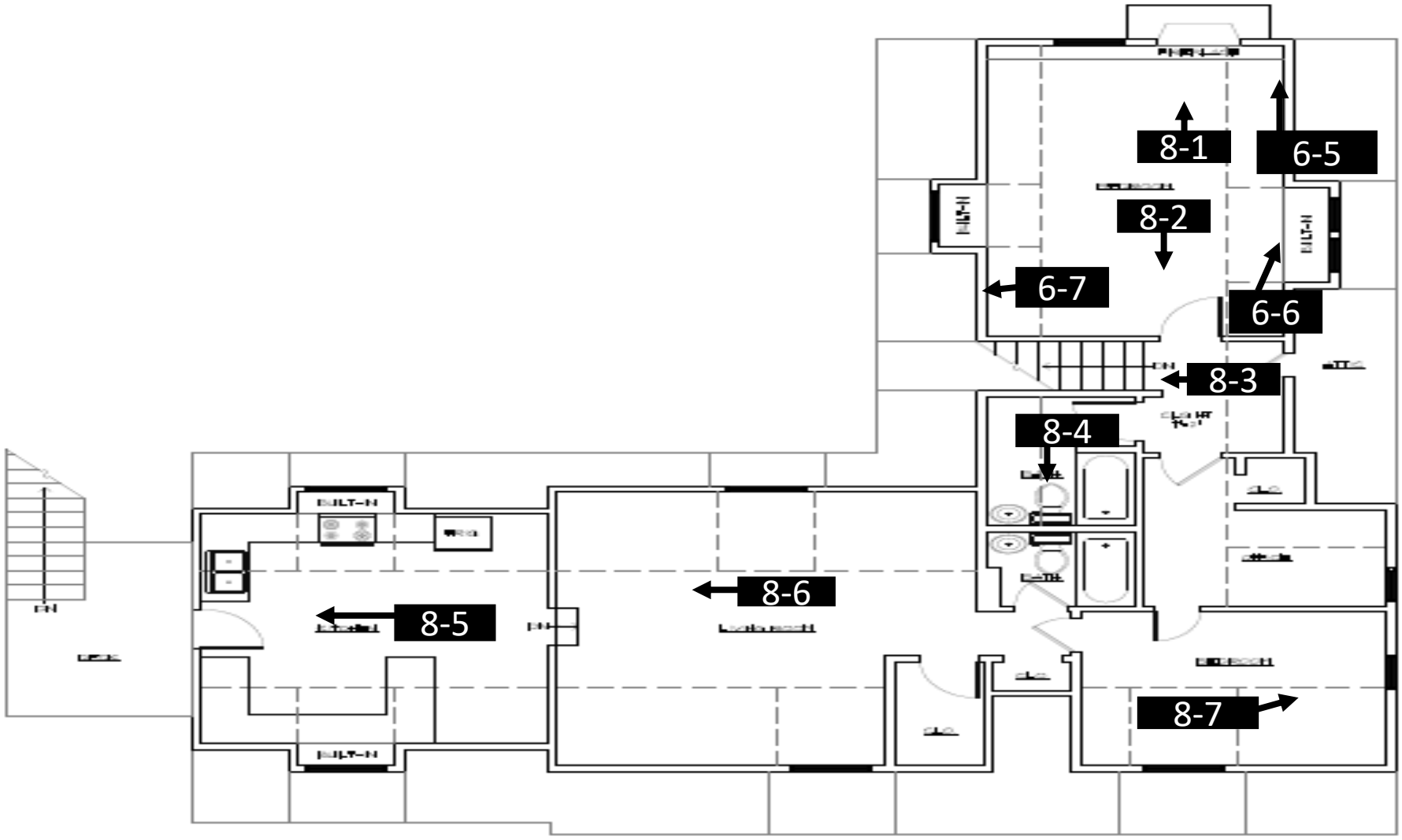


YALLAHA
115 BRIDGE STREET/ PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT



YALLAHA
115 BRIDGE STREET/PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



Second Floor Plan
Existing

YALLAHA, 115 BRIDGE STREET

1. Site, facing south

2 Photo 1-1



1. Site, facing west

2 Photo 1-2



YALLAHA, 115 BRIDGE STREET

1. Site, facing north, entrance gate

2 Photo 1-3



1. Site, facing south, non-historic outbuilding

2 Photo 1-4



YALLAHA, 115 BRIDGE STREET

1. Site, facing east historic well
2. Photo 1-5



1. Site, facing west, non-historic patio, fountain
2. Photo 1-6



YALLAHA, 115 BRIDGE STREET

1. Site, facing south, Sanford Street
- 2 Photo 1-7



1. Site, facing west from Sanford Street
- 2 Photo 1-8



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, condition

2 Photo 2-1



1. North elevation, facing south, condition

2 Photo 2-2



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, foundation
- 2 Photo 2-3



1. North elevation, facing south, steps
- 2 Photo 2-4



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, main entrance
- 2 Photo 2-6



1. North elevation, facing south, dormer with fish-scale shingles
- 2 Photo 2-7



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, deteriorated porch roof

2 Photo 2-8



1. North elevation, facing south, deteriorated porch roof

2 Photo 2-9



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, condition

2 Photo 3-1



1. East elevation, facing west, foundation

2 Photo 3-2



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, collapsed porch roof

2 Photo 3-3



1. East elevation, facing west, dormer, chimney

2 Photo 3-4



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, dormer
- 2 Photo 3-5



1. East elevation, facing west, window/AC unit.
- 2 Photo 3-6



YALLAHA, 115 BRIDGE STREET

1. South elevation, facing north

2 Photo 4-1



1. South elevation, facing south, non-historic carport

2 Photo 4-2



YALLAHA, 115 BRIDGE STREET

1. South elevation, facing north, loggia
- 2 Photo 4-3



1. South elevation, facing north, dormer
2. Photo 4-4



YALLAHA, 115 BRIDGE STREET

1. West elevation, facing south, coquina chimney

2 Photo 5-1



1. West elevation, facing east, exposed coquina

2 Photo 5-2



YALLAHA, 115 BRIDGE STREET

1. West elevation, facing east, rear wing
- 2 Photo 5-3



1. West elevation, facing east, dormer
- 2 Photo 5-4



YALLAHA, 115 BRIDGE STREET

1. Roof, facing south, condition

2 Photo 6-1



1. Roof, facing south, condition

2 Photo 6-2



YALLAHA, 115 BRIDGE STREET

1. Roof, facing north, condition
- 2 Photo 6-3



1. Elevation, facing west, joint between original roof/rear addition
- 2 Photo 6-4



YALLAHA, 115 BRIDGE STREET

1. Roof, facing west, interior roof structure
- 2 Photo 6-5



1. Elevation, facing south, colonial period beams
- 2 Photo 6-6



YALLAHA, 115 BRIDGE STREET

1. Roof, facing west, interior roof structure, dowels

2 Photo 6-7



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing west, coquina wall, dining room

2 Photo 7-1



1. Interior, 1st floor, facing east, dining room

2 Photo 7-2



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing east, kitchen
2. Photo 7-3



1. Interior, 1st floor, facing east, parlor
2. Photo 7-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing south, parlor/coquina fireplace

2 Photo 7-5



1. Interior, 1st floor, facing east, parlor/wood floor

2 Photo 7-6



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing south, c. 1960 offices

2 Photo 7-7



1. Interior, 1st floor, facing north, parlor/coquina fireplace

2 Photo 7-8



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing east, rear addition
2. Photo 7-9



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing west, apt. bedroom

2 Photo 8-1



1. Interior, 2nd floor, facing east, apt. bedroom

2 Photo 8-2



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing south, stair to 2nd floor

2 Photo 8-3



1. Interior, 2nd floor, facing east, apt. bathroom

2. Photo 8-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing south, rear apt. kitchen
2. Photo 8-7



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing north, apt. bedroom

2 Photo 8-5

1. Elevation, facing south, non-historic outbuilding

2 Photo 8-6



YALLAHA, 115 BRIDGE STREET

1. Rear addition, facing north, non-historic carport to be removed

2 Photo 9-1



1. Rear, facing north, non-historic carport to be removed

2 Photo 9-2



YALLAHA, 115 BRIDGE STREET

1. Rear addition, facing south, non-historic outbuilding to be removed

2 Photo 9-3



Page Eight – Historic Preservation Property Tax Exemption Application

**PART 1 APPLICATION REVIEW
For Local Historic Preservation Office or Division Use Only**

Property Identification Number 2068500000

Property Address 115 Bridge Street

The Local Preservation Office Division has reviewed the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Certifies that the above referenced property _____ is _____ consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies that the above referenced property _____ consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies that the above referenced property _____ provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- Certifies that the above referenced property _____ provided under s.196.1998, F.S.

Review Comments: Please see the Historic Architectural Review Board (HARB) order dated April 21, 2022 and the staff report attached for PART I and II.

Additional Review Comments attached? Yes No

Signature *Julie E Courtney*
Typed or printed name Julie E. Courtney
Title Historic Preservation Officer
Date April 21, 2022

Page Nine – Historic Preservation Property Tax Exemption Application

PART 2 APPLICATION REVIEW
For Local Historic Preservation Office or Division Use Only

Property Identification Number 2068500000


Property Address 115 Bridge Street

The Local Preservation Office Division has reviewed the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Determines that improvements to the above referenced property **are consistent** with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.
- Determines that improvements to the above referenced property **are not consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings**, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria are identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.*

Review Comments: Please see the Historic Architectural Review Board (HARB) order dated April 21, 2022 and the staff report attached for PART I and II.

Additional Review Comments attached? Yes No

Signature 

Typed or printed name Julie E. Courtney

Title Historic Preservation Officer

Date April 21, 2022



April 21, 2022

Bridge Street Estates, LLC
5243 E Grandview Rd
Scottsdale, AZ 85254

cc: Joseph Griffin

Re: Certificate of Appropriateness for a Historic Preservation Ad Valorem Tax
Exemption – 115 Bridge Street – HP2022-0027

Dear Bridge Street Estates, LLC,

On April 21, 2022, the Historic Architectural Review Board (HARB) met and discussed your application to review parts I and II of a Historic Preservation Ad Valorem Tax Exemption application including proposed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

Specifically, based upon evidence presented, the HARB **APPROVED** your application as described in the attached copy of the executed Order.

Please contact the Planning and Building Department at (904) 825-1065 with any questions and for the proper permits, archaeology review, fees and requirements to proceed with the approved elements of your project in accordance with the Historic Architectural Review Board's decision. Applications for building permits will be required and must be submitted electronically with formalized digital signature. HARB documents are not accepted for issuance of a building permit and applications must meet all city standards prior to permit issuance.

Sincerely,

Amy McClure Skinner, AICP
Director, Planning & Building

cc: John P. Regan, City Manager
Isabelle Lopez, City Attorney
Darlene Galambos, City Clerk
BDAC File

BEFORE THE
HISTORIC ARCHITECTURAL REVIEW BOARD FOR THE
CITY OF ST. AUGUSTINE, FLORIDA

TYPE OF REQUEST:

- | | |
|---------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Certificate of Completeness and Recommendation for Historic Property Tax Exemption |
| <input type="checkbox"/> Certificate of Demolition | <input type="checkbox"/> Opinion of Appropriateness |
| <input type="checkbox"/> Certificate of Relocation | |
| <input checked="" type="checkbox"/> Certificate of Appropriateness for Preservation Approach for Ad Valorem Tax Exemption | |

IN THE MATTER OF:

Case No.: HP2022-0027
Applicant: Bridge Street Estates, LLC
Owner: Joseph Griffin
Address: 115 Bridge Street
Parcel Number: 2068500000

RE: Certificate of Appropriateness for a Historic Preservation Ad Valorem Tax Exemption, pursuant to Section 28-89, City of St. Augustine Code, to review parts I and II of a Historic Preservation Ad Valorem Tax Exemption application including proposed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

THE HISTORIC ARCHITECTURAL REVIEW BOARD HAS HEARD TESTIMONY AND EXAMINED EVIDENCE AT A PUBLIC HEARING HELD ON APRIL 21, 2022, AND BASED ON THE TESTIMONY AND EVIDENCE, THE BOARD HAS DETERMINED AS FOLLOWS:

FINDINGS OF FACT AND CONCLUSIONS OF LAW:

1. Applicant is the legal owner, occupant, and/or representative of the owner/occupant of the subject property and duly submitted an application with the owner's knowledge, and was duly notified of the hearing, in accordance with Chapter 28 of the Code of the City of St. Augustine. The applicant or representative was present at the April 21, 2022, Historic Architectural Review Board meeting and testified under oath, or was not present.
2. A public hearing was held, with notice given as required by law, and members of the public testified under oath, or no members of the public spoke on this issue.
3. The subject property has a zoning classification of RS-2.
4. The above-described Certificate of Appropriateness for a Historic Preservation Ad Valorem Tax Exemption is subject to Section 28-89 of the Code of the City of St. Augustine.

ORDER:

Based upon the evidence presented, the Historic Architectural Review Board determined that the requested action **MEETS** / **DOES NOT MEET** the requirements of Section 28-89, City of St. Augustine Code, and **APPROVES** / **DENIES** / **CONTINUES** the Applicant's request to review parts I and II of a Historic Preservation Ad Valorem Tax Exemption application including proposed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

Subject to the following conditions:

- As submitted
- _____
- _____
- _____
- _____
- _____
- _____
- _____

DONE AND ORDERED, at a public hearing on the 21 day of April, A.D., 2022, in the Alcazar Room, 75 King Street, St. Augustine, Florida.

Case No. HP2022-0027

REQUEST **APPROVED** / **DENIED** / **CONTINUED**

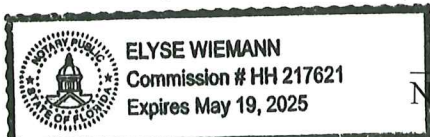
Catherine Duncan
Sign Name

Catherine Duncan
Print Name
HISTORIC ARCHITECTURAL REVIEW BOARD
CITY OF ST. AUGUSTINE, FLORIDA

STATE OF FLORIDA, COUNTY OF ST. JOHNS

I HEREBY CERTIFY that on this day, personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Catherine Duncan, by means of [] physical presence or [] online notarization, who is personally known to me and who is the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same for the purposes therein expressed.

Witness my hand and official seal, this 21st day of April, A.D., 2022.



Elyse Wiemann
Notary Public, State of Florida

Historic Preservation Property Tax Exemption Application
Part 1 – Evaluation of Property Eligibility

Read the attached instructions carefully before completing this application. Your application cannot be evaluated unless it is complete and all required supporting materials are provided. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence. Type or print clearly in black ink. If additional space is needed, attach additional sheets.

GENERAL INFORMATION (To be completed by all applicants)

1. Property identification and location:

Property Identification Number (from tax records): 2068500000 _____ *Attach legal description of property*

Address of property: Street 115 Bridge Street

City St. Augustine County St. Johns Zip Code 32084

- () Individually National Register listed
(x) In a National Register district
() Locally designated historic property or landmark*
() In a locally designated district

** For applications submitted to the Division of Historical Resources, attach a copy of the local designation report for the property and the official correspondence notifying the property owner of designation.*

Name of historic district Lincolville Historic District

For locally designated historic properties or landmarks, or properties located in locally designated historic districts, provide the following additional information:

Name of local historic preservation agency/office City of St. Augustine

Mailing Address 75 King Street

City St. Augustine State FL Zip Code 32084

Telephone Number (904) 209-4326

2. Type of request:

- (x) Exemption under 196.1997, F.S. (standard exemption)
() Exemption under 196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public) *If applying under s. 196.1998, F.S., complete Question 9 on page five.*

3. Owner information:

Name of individual or organization owning the property Bridge Street Estates, LLC

Mailing address 5243 E. Grandview Rd.

City Scottsdale State AZ Zip code 85254

Daytime Telephone Number (602) 8821979

If the property is in multiple ownership, attach a list of all owners with their mailing addresses.

Page Two – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

4. Owner Attestation: I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Joe Griffin  3/22/22
Name Signature Date

Complete the following if signing for an organization or multiple owners:

Owner Bridge Street Estates, LLC
Title Organization name

EVALUATION OF PROPERTY ELIGIBILITY

(To be completed only for properties in historic or archaeological districts):

5. Description of Physical Appearance:

Yallaha, 115 Bridge Street, is a frame and masonry vernacular residential building dating to c.1815. It rises one-and-a-half stories in height. Its foundation is coquina and brick, and its structural system is coquina and wood frame. The coquina structural walls at the NW corner date to c. 1815 and most of the remainder to c. 1845. It has an ell-shaped ground plan, and a gable roof with gable dormers. It is one of the more prominent properties in Lincolnville and its grounds are the remnants of a Spanish land grant and orange grove known as Yallaha or the Mitchell Grove. An historic well appears on an 1876 lithograph of the property. The first floor features a parlor with a coquina fireplace, three bedrooms, an entrance foyer, bathrooms, and a kitchen/dining room in the coquina portion. The upper story has two apartments. C. 1970 the building was renovated to its present configuration by local owner/contractor William Forrester. Currently, the building is in poor condition, vacant and not suitable for occupation

Date of Construction 1815, 1845 Date(s) of Alteration(s) 1970

Has building been moved? ()Yes (X)No If so, when? _____

6. Statement of Significance:

Yallaha, 115 Bridge Street, is one of the outstanding buildings in the Lincolnville Historic District. While the buildings in Lincolnville overwhelmingly date from 1871-1930, Yallaha Plantation House is an outlier. It is the oldest extant building in Lincolnville and the City of St. Augustine outside the colonial city. The coquina portion dates from the Second Spanish Period (1784-1821) and was originally the country home of Dr. Jose Bousquet. In the 1820s, the Board of Land Commissioners of East Florida granted title to the property to Peter Mitchell. Known as the Mitchell Grove, it was acquired in 1845 by the Dumas family and between 1845 and 1876, the building acquired its present configuration. After a number of transactions and alteration, William Forrester, a local contractor, acquired the property in 1955. The Forrester family retained the property until 2021.

Page Three – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

7. Photographs and maps:

Attach photographs and maps to application.



Owner's Authorization For Agent

Les Thomas is/are hereby authorized TO ACT ON BEHALF
OF Joseph Griffin, the owner(s) of those lands described within
the attached application, or described within the previously filed
Application number: HP2022-0027, and as described in the attached deed or
other such proof of ownership as may be required, in applying to the City
of St. Augustine's Historic Architectural Review Board, for an application
related to a Certificate of Demolition for the structure located at:
115 Bridge St. Saint Augustine, FL 32084

BY: [Signature]
Signature of Owner
Joseph Griffin
Print Name of Owner
602-882-1979
Telephone Number

State of Arizona

County of Maricopa

Signed and sworn before me on this 4 day of April, 2022

By Joseph Griffin

Identification verified:

Oath sworn: Yes No

Notary Signature: Laura Page

My Commission expires: 3/31/2024



NPS Form 10-168 (Rev. 2019)
National Park Service
OMB Control No. 1024-0009



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 - EVALUATION OF SIGNIFICANCE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
44331

1. Historic Property Name YALLAHA
Street 115 Bridge St.
City St. Augustine County St. Johns State FL Zip 32084
Name of Historic District or National Register property LINCOLNVILLE HISTORIC DISTRICT
 National Register district certified state or local district potential district National Register property

2. Nature of Request (check only one box)
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)
Name Paul L. Weaver Company Historic Property Associates, Inc.
Street PO Box 1002 City St. Augustine State FL
Zip 32085 Telephone (904) 347-6090 Email Address hpa007@aol.com

4. Applicant
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowingly and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Joe Griffin Signature (Sign in ink) [Signature] Date 10/18/2021
Applicant Entity Bridge Street Estates, LLC SSN _____ or TIN 87-3135823
Street 5243 E. Grandview Rd. City Scottsdale State AZ
Zip 85254 Telephone (602) 882-1979 Email Address joegriffin@gmail.com

NPS Official Use Only
The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property:
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.
Preliminary Determinations:
 appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
 does not appear to qualify as a certified historic structure.

Date 3/15/2022
Renee Novak
National Park Service Authorized Signature (Sign in ink)
 NPS Comments Attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
COMMENTS**

Property Name Yallaha Project Number 44331
Property Address 115 Bridge Street, St. Augustine, FL

These comments respond to the Historic Preservation Certification Application –
 Part 1 Part 2 Part 3 Amendment

The National Park Service (NPS) has reviewed the Historic Preservation Certification Application – Part 1 for the property referenced above. Because the property contains more than one building, program regulations require the NPS to determine which of the buildings/structures contribute to the significance of the historic property and are therefore considered to be “certified historic structures.” Based on the documentation presented, the following buildings under your ownership appear to contribute to the significance of the property/district and are “certified historic structures” for the purposes of rehabilitation:

- The Main Residence (Yallaha, a one-and-a-half story frame and masonry vernacular building); ca. 1815

Based on the documentation presented, the following buildings/structures do not contribute to the significance of the property/district and are not considered “certified historic structures” for the purposes of rehabilitation:

- One-story, concrete and plywood storage outbuilding; ca. 1970

Based on the documentation presented, the following structures and objects also contribute to the significance of the property/district:

- Historic stone and coquina well; date of construction unknown (although referenced on an 1876 map of the property and within the period of significance for the district)

Program regulations require NPS to review the rehabilitation work as a single overall project, and to issue rehabilitation certification on the merits of the overall project rather than for each structure. Consequently, Part 2 of the application, the Description of Rehabilitation Work, must describe all proposed work on the property, although the 20% investment tax credit is based only on costs for the rehabilitation of “certified historic structures”. Please be consistent with identifying these buildings in your Part 2 application as identified in the Part 1.

If you have any questions about the review of the application, please contact Renee Novak of this office at Renee_Novak@nps.gov.

The National Park Service has reviewed and approved the submitted application noted above.

3/15/2022

Date

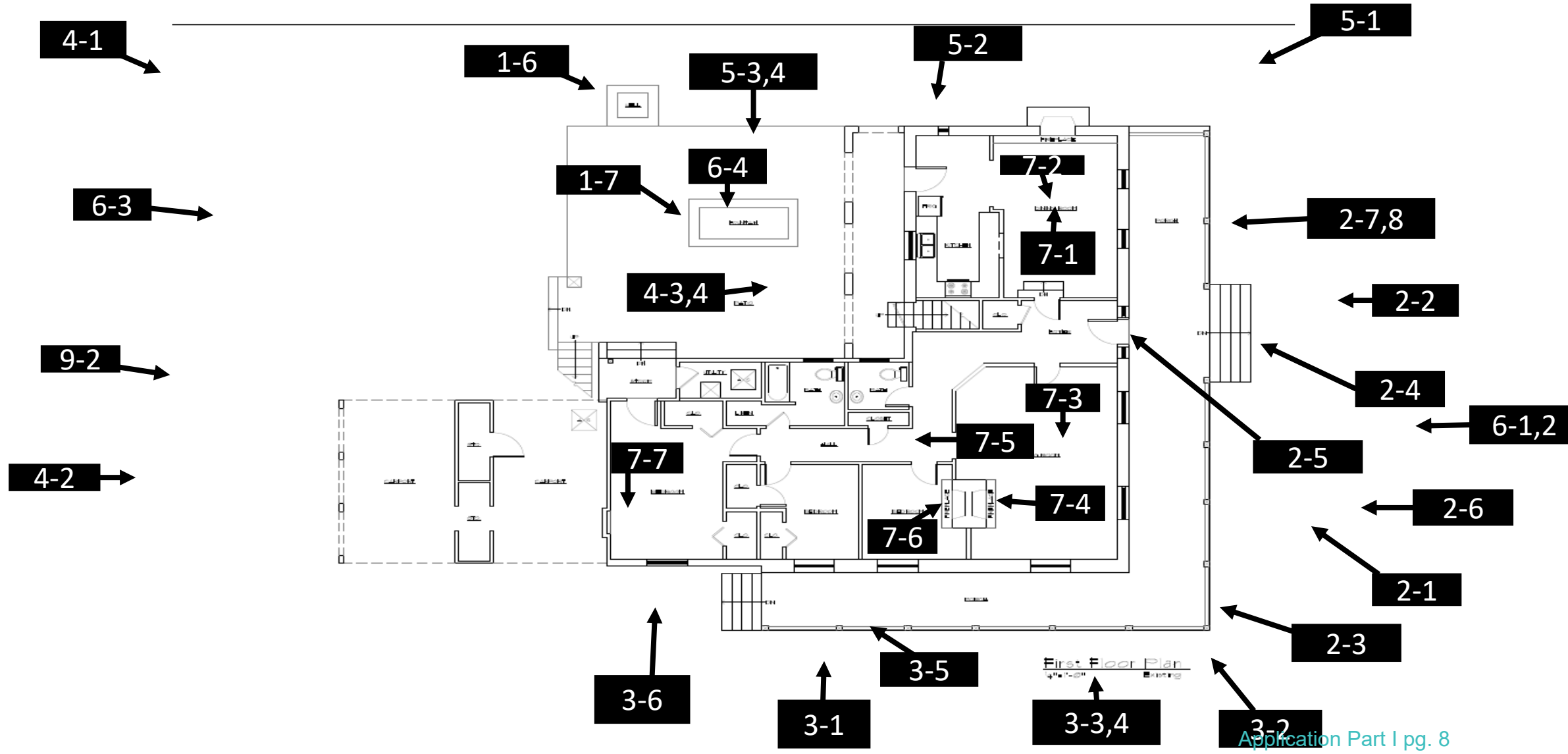
Renee Novak

National Park Service Signature



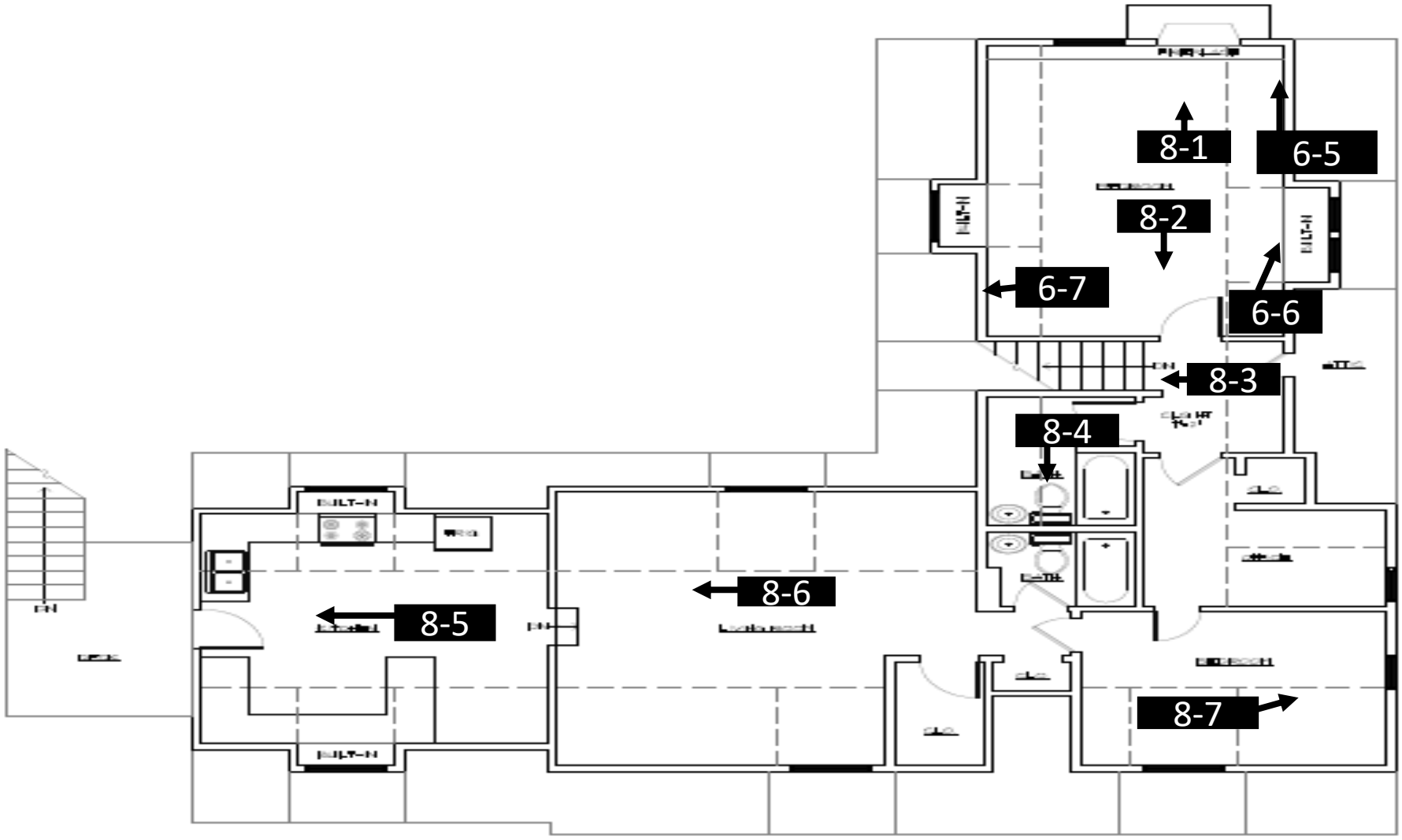
YALLAHA
115 BRIDGE STREET/ PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



YALLAHA
115 BRIDGE STREET/PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



Second Floor Plan
Existing

**SEE ACCOMPANYING
PHOTOGRAPHS TO PHOTO KEY
UNDER PART II
THAT FOLLOWS PART I**





COQUINA WALL/CHIMNEY WEST ELEVATION

Received March 22, 2022
Planning and Building Department



APERTURE WINDOW, WEST ELEVATION

Received March 22, 2022
Planning and Building Department











COQUINA PARAPET WITH POCKETS FOR JOISTS/VIGAS
2ND FLOOR FACING NORTH

Received March 22, 2022
Planning and Building Department



COQUINA PARAPET WITH POCKETS FOR JOISTS/VIGAS
2ND FLOOR FACING NORTH/TWO ORIGINAL JOISTS

Received March 22, 2022
Planning and Building Department



COQUINA PARAPET WITH POCKETS FOR JOISTS/VIGAS
2ND FLOOR FACING NORTH/TWO ORIGINAL JOISTS

Received March 22, 2022
Planning and Building Department









DOWELED FLOOR JOISTS

Received March 22, 2022
Planning and Building Department



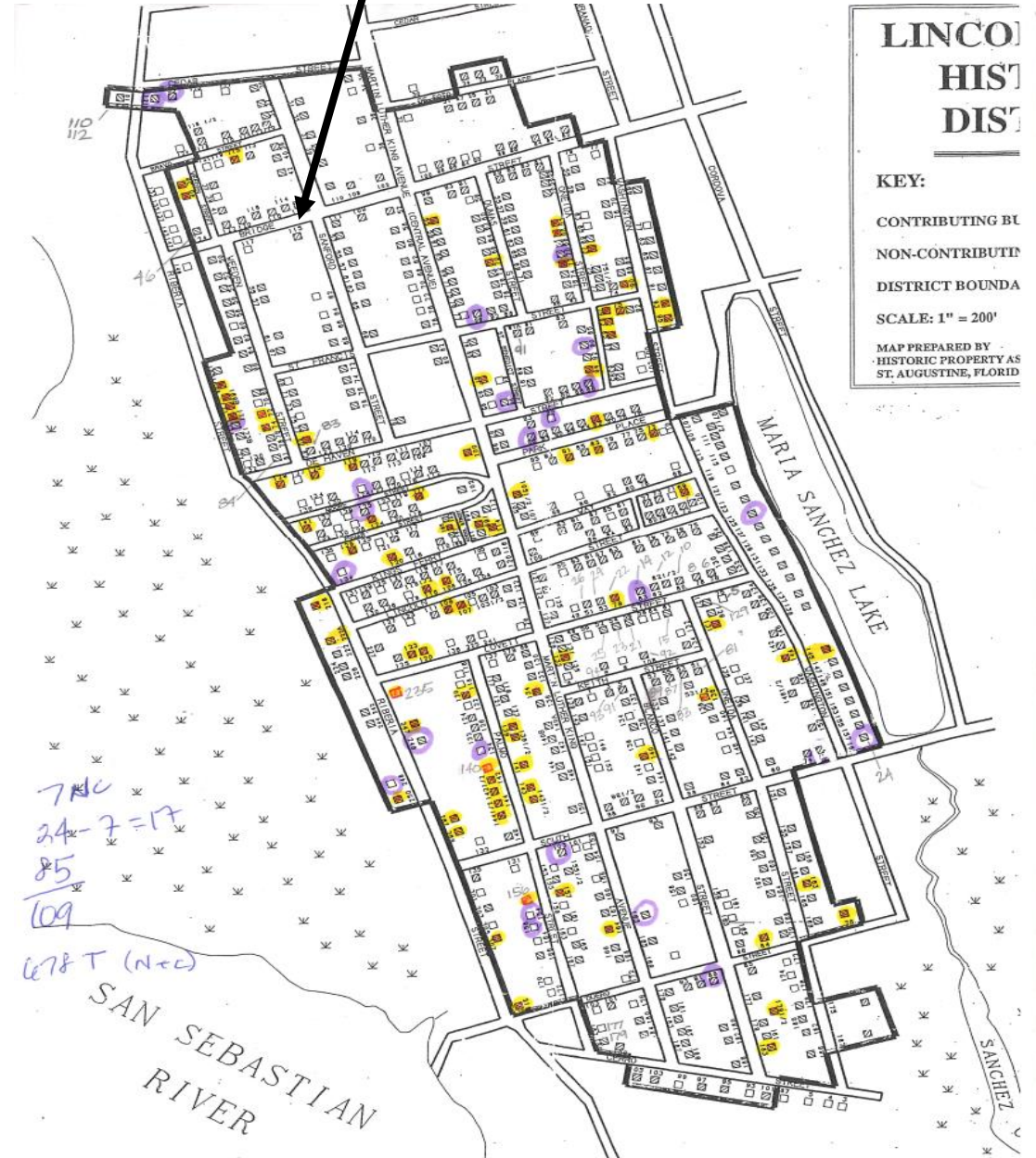
YALLAHA
115 BRIDGE STREET
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



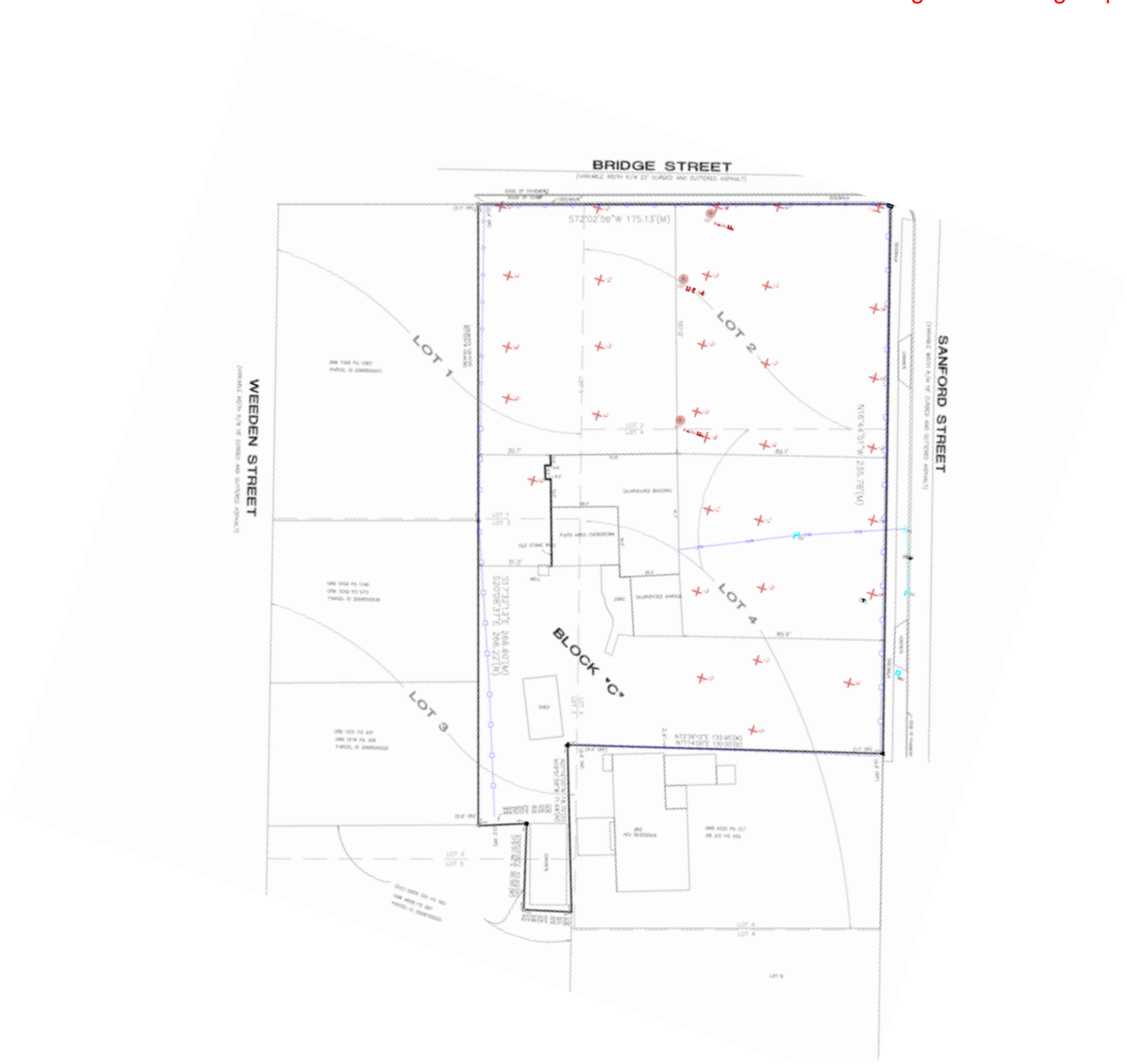
YALLAHA
115 BRIDGE STREET
LINCOLNVILLE HISTORIC DISTRICT

Received March 31, 2022
Planning and Building Department



YALLAHA, 115 BRIDGE STREET SURVEY

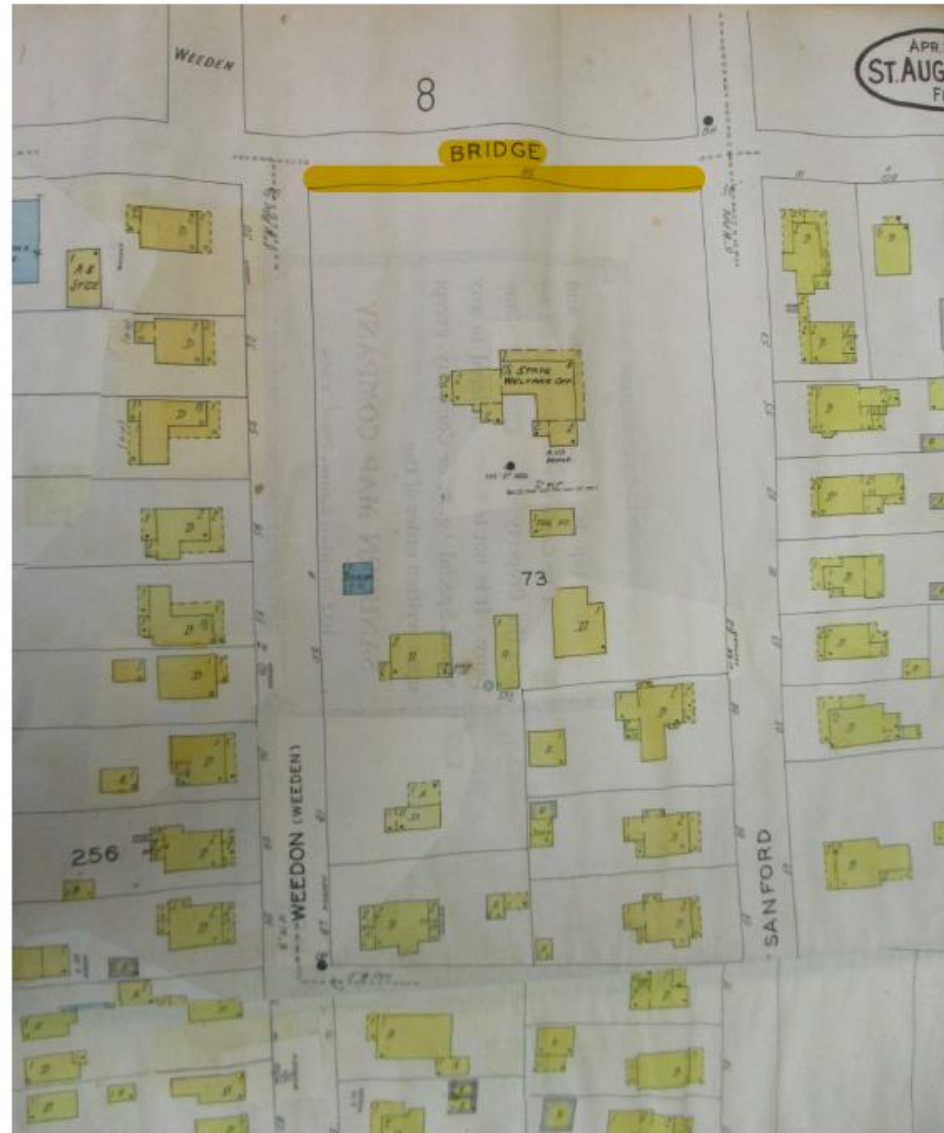
Received March 22, 2022
Planning and Building Department



Sanborn Map (1917)
115 Bridge Street



Sanborn Map (1930 revised to 1965)
115 Bridge Street

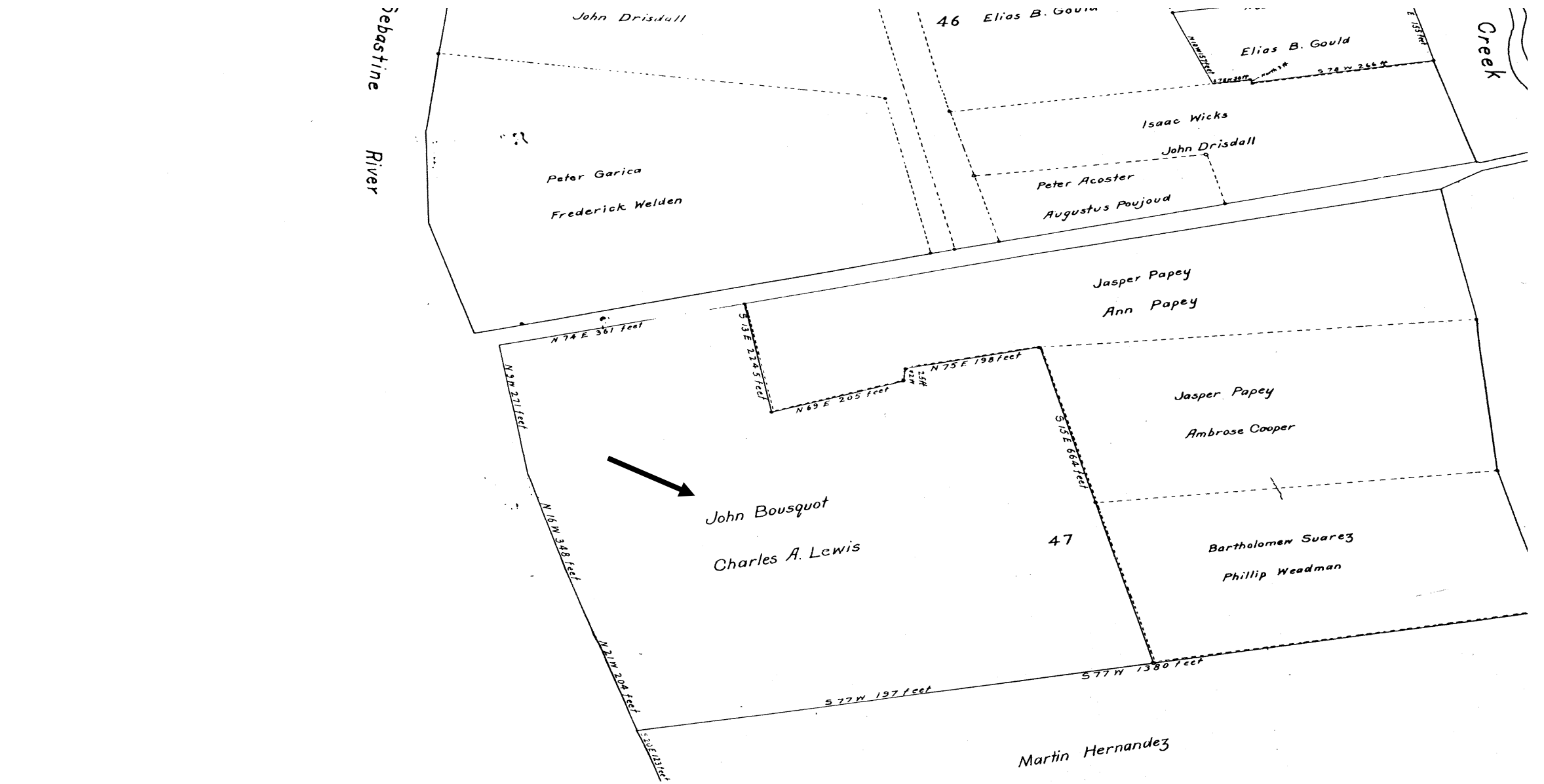


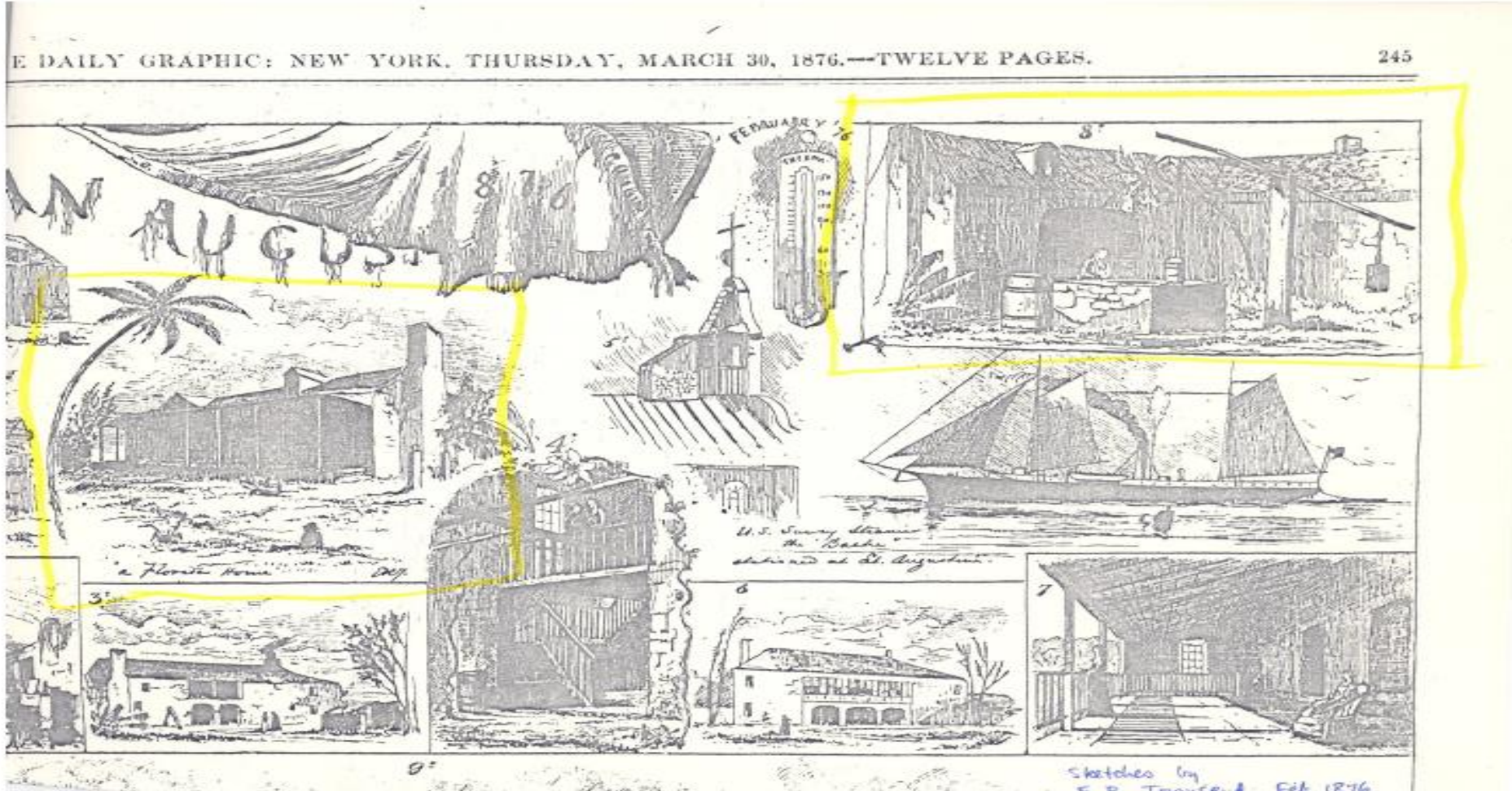
LEGAL DESCRIPTION AND DATA FROM PROPERTY APPRAISER'S OFFICE

Parcel ID	2068500000
Location Address	115 BRIDGE ST SAINT AUGUSTINE 32084-0000
Neighborhood	Dumas Tract with part City St Aug (622)
Tax Description*	DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4 (EX S75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146) OR5337/918
Property Use Code	Multi-Family (Less than 10 Units) (0800)
Subdivision	Dumas Tract
Sec/Twp/Rng	18-7-30
District	City of St Augustine (District 452)
Millage Rate	19.3368
Acreage	1.040



1834-1835 CLEMENTS US GOVERNMENT SURVEY





Prepared by and return to:

Pamella Gesell
Paradise Title of St. Augustine, LLC
2225 A1A South
Suite C8
St. Augustine, FL 32080
(904) 471-2553
File No 2021-6547

Parcel Identification No 206850-0000

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 6th day of August, 2021 between Faith E. Elsen, a single woman, Christian A. Elsen, a single man, Jonathan W. Elsen, a single man, Angelica J. Elsen, a single woman, Gloria H. Elsen, a single woman, and Bethany Grace Elsen, a single woman, Grantors, to Joseph Griffin, a married man, whose post office address is 5243 East Grandview Road, Scottsdale, AZ 85254, of the County of Maricopa, State of Arizona, Grantee:

Witnesseth, that said Grantors, for and in consideration of the sum of EIGHT HUNDRED FIFTEEN THOUSAND AND 00/100 (815,000.00) and other good and valuable considerations to said Grantors in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Johns, Florida, to-wit:

A TRACT OF LAND IN THE CITY OF ST. AUGUSTINE BEING LOTS 1, 2, 3, 4, 5 AND 7, BLOCK C, DUMAS TRACT, AS PER OFFICIAL CITY MAP DATED 1923, EXCEPTING THEREFROM PROPERTY DESCRIBED IN DEED BOOK 231, PAGE 455, DEED BOOK 251, PAGE 160, DEED BOOK 257, PAGE 510, OFFICIAL RECORDS BOOK 1059, PAGE 1146 AND OFFICIAL RECORDS BOOK 1030, PAGE 631, ALL OF THE OF THE PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
WITNESS
PRINT NAME: Dmitry Bratslavsky

[Signature]
Faith E. Elsen
167 South 33rd Street
Richmond, CA 94804

[Signature]
WITNESS
PRINT NAME: Ingrid Craig

STATE OF California
COUNTY OF Contra Costa

The foregoing instrument was acknowledged before me by means of (x) physical presence or () online notarization this 28 day of July, 2021, by Faith E. Elsen.

[Signature]
Signature of Notary Public
Print, Type/Stamp Name of Notary
Ingrid Craig



Personally Known: _____ OR Produced Identification: X

Type of Identification
Produced: California Drivers License

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Kayla Matthews

WITNESS

PRINT NAME: Kayla Matthews

Kim Collins

WITNESS

PRINT NAME: Kim Collins

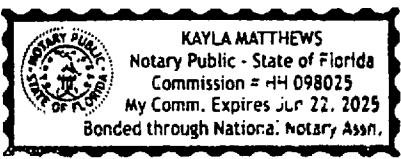
STATE OF Florida
COUNTY OF St. Johns

Christian A. Elsen
Christian A. Elsen
211 W. Main Street
Ponoma Park, FL 32181

The foregoing instrument was acknowledged before me by means of (x) physical presence or () online notarization this 29 day of July, 2021, by Christian A. Elsen.

Kayla Matthews

Signature of Notary Public
Print, Type/Stamp Name of Notary



Personally Known: _____ OR Produced Identification: X

Type of Identification Produced: valid drivers license

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Kayla Matthews
WITNESS
PRINT NAME: Kayla Matthews

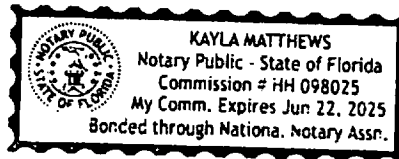
Jonathan W. Elsen
Jonathan W. Elsen
112 Timberwood Drive
St. Augustine, FL 32084

Kim Collins
WITNESS
PRINT NAME: Kim Collins

STATE OF Florida
COUNTY OF St. Johns

The foregoing instrument was acknowledged before me by means of (x) physical presence or () online notarization this 28th day of July, 2021, by Jonathan W. Elsen.

Kayla Matthews
Signature of Notary Public
Print, Type/Stamp Name of Notary



Personally Known: _____ OR Produced Identification: X
Type of Identification
Produced: valid drivers license

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
WITNESS
PRINT NAME: Michael Behrens

[Signature]
Angelica J. Elsen
743 Bernice Court
Orlando, FL 32825

[Signature]
WITNESS
PRINT NAME: Caille Polnett

STATE OF Florida
COUNTY OF Orange

The foregoing instrument was acknowledged before me by means of (x) physical presence or () online notarization this 22 day of July, 2021, by Angelica J. Elsen.

[Signature]
Signature of Notary Public
Print, Type/Stamp Name of Notary



Caille Polnett
Notary Public
State of Florida
My Commission Expires 08/29/2022
Commission No. GG 253762

Personally Known: _____ OR Produced Identification:
Type of Identification
Produced: Florida Drivers License

COPY

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

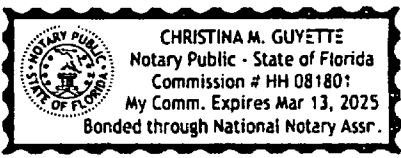
WITNESS
PRINT NAME: Christina M. Guyette
WITNESS
PRINT NAME: Kayla Matthews

Gloria H. Elsen
Gloria H. Elsen
3736 Helicon Drive
Jacksonville, FL 32223

STATE OF Florida
COUNTY OF St. Johns

The foregoing instrument was acknowledged before me by means of (x) physical presence or () online notarization this 20th day of July, 2021, by Gloria H. Elsen.

Christina M. Guyette
Signature of Notary Public
Print, Type/Stamp Name of Notary



Personally Known: _____ OR Produced Identification: ✓
Type of Identification
Produced: valid drivers license

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Bethany Grace Elsen
Bethany Grace Elsen
1193 Brafforton Way
Tallahassee, FL 32311

Anuradha Iyer
WITNESS
PRINT NAME: Anuradha Iyer

Tamara Smith
WITNESS
PRINT NAME: Tamara Smith

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me by means of (x) physical presence or () online notarization this 23rd day of JULY, 2021, by Bethany Grace Elsen.

Anuradha Iyer
Signature of Notary Public
Print, Type/Stamp Name of Notary Public: ANURADHA IYER
My Comm. Expires July 17, 2023
No. GG 356086
STATE OF FLORIDA
Personally Known: Produced Identification:
Type of Identification
Produced: FL Driver's License

Apply for Exemptions

Apply for Exemptions

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2021 TRIM Notice

2021 TRIM Notice (PDF)

Summary

[Clicking Image Opens Cyclomedia Viewer In a New Tab](#)



Parcel ID	2068500000
Location Address	115 BRIDGE ST SAINT AUGUSTINE 32084-0000
Neighborhood	Dumas Tract with part City St Aug (622)
Tax Description*	DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4 (EX S75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146) OR5337/918 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Multi-Family (Less than 10 Units) (0800)
Subdivision	Dumas Tract
Sec/Twp/Rng	18-7-30
District	City of St Augustine (District 452)
Millage Rate	19.3368
Acreage	1.040
Homestead	N

Owner Information

Owner Name [Griffin Joseph](#) 100%
 Mailing Address 115 BRIDGE ST
 SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

	2022
Building Value	\$144,758
Extra Features Value	\$0
Total Land Value	\$619,938
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$764,696
Total Deferred	\$0
Assessed Value	\$764,696
Total Exemptions	\$0
Taxable Value	\$764,696

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

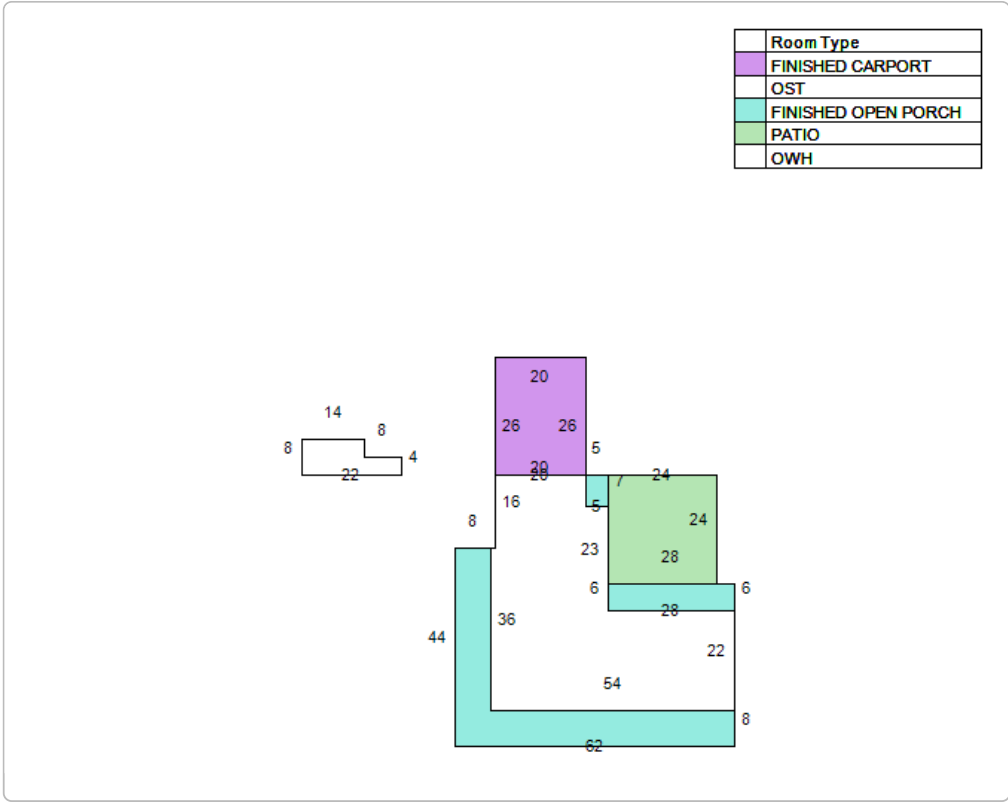
Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2021	\$120,583	\$0	\$550,550	\$0	\$0	\$671,133	\$671,133	\$0	\$671,133
2020	\$100,478	\$0	\$550,550	\$0	\$0	\$651,028	\$651,028	\$0	\$651,028
2019	\$83,699	\$0	\$555,450	\$0	\$0	\$639,149	\$639,149	\$0	\$639,149
2018	\$106,157	\$623	\$511,785	\$0	\$0	\$618,565	\$618,565	\$0	\$618,565
2017	\$108,369	\$2,407	\$460,615	\$0	\$0	\$571,391	\$490,374	\$131,017	\$440,374
2016	\$132,697	\$2,407	\$399,841	\$0	\$0	\$534,945	\$451,320	\$133,625	\$401,320
2015	\$137,901	\$2,407	\$319,875	\$0	\$0	\$460,183	\$416,749	\$93,434	\$366,749
2014	\$112,696	\$2,407	\$255,900	\$0	\$0	\$371,003	\$371,003	\$0	\$371,003
2013	\$116,794	\$2,407	\$198,323	\$0	\$0	\$317,524	\$301,065	\$66,459	\$251,065
2012	\$120,892	\$2,407	\$172,733	\$0	\$0	\$296,032	\$296,032	\$50,000	\$246,032
2011	\$122,941	\$2,407	\$191,925	\$0	\$0	\$317,273	\$317,273	\$50,000	\$267,273
2010	\$127,039	\$2,407	\$213,250	\$0	\$0	\$342,696	\$342,696	\$50,000	\$292,696

Building Information

Building	1	Roof Cover	Composite Shingle
Year Built	1900	Roof Structure	Gable Hip
Actual Area	4144	Interior Flooring	Pine Wood
Conditioned Area	2876	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Air Duct
Style	01	Air Conditioning	Central
Class	N	Bedrooms	6
Exterior Wall	Stucco, Wood	Baths	4

Description	Square Footage
1.5 STORY	1917
PATIO	576
FINISHED OPEN PORCH	168
FINISHED OPEN PORCH	784
OUTSIDE STAIRS	144
FINISHED OPEN PORCH	35
FINISHED CARPORT	520
Total SqFt	4144

Sketch Information



Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	175	236	175	EF	\$619,938

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
8/6/2021	8/6/2021	\$815,000.00	WARRANTY DEED	5337	918	Q	I	ELSEN FAITH E ET AL	GRIFFIN JOSEPH
	5/8/2006	\$0.00	QUIT CLAIM DEED	2712	1005	U	I	ELSEN DAVID C *** ETAL	ELSEN DAVID C ***
	8/17/2005	\$0.00	ORDER DET HX REAL P	2516	1953	U	I	ELSEN SUSAN H D ESTATE	ELSEN DAVID C ***
	1/25/2005	\$0.00	LETTERS OF ADMN	2371	1790	U	I	ELSEN SUSAN H D ESTATE	ELSEN SUSAN H D TRUST (LETT OF ADMIN)
	9/2/1998	\$0.00	WARRANTY DEED	1347	2019	U	I	ELSEN SUSAN H	ELSEN SUSAN H D TRUSTEE
	5/15/1998	\$100.00	WARRANTY DEED	1330	198	U	I	FORRESTER PHILLIP W	ELSEN SUSAN H
	5/15/1998	\$100.00	PERSONAL REP	1330	195	U	I	FORRESTER LUCILLE ESTATE- FORRESTER KENNETH PR	ELSEN SUSAN H
	9/2/1997	\$0.00	OTHER INSTRUMENT	1261	814	U	I	FORRESTER LUCILLE (DECEASED 8/3/97)	FORRESTER LUCILLE E ESTATE (LETT OF ADMIN)
	4/6/1995	\$0.00	WILL	1261	810	U	I	FORRESTER LUCILLE	FORRESTER LUCILLE (WILL)
	12/1/1981	\$0.00		522	228	U	I		FORRESTER LUCILLE
	1/1/1980	\$0.00		477	648	U	I		

No data available for the following modules: Exemption Information, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#)
[GDPR Privacy Notice](#)



Last Data Upload: 3/23/2022, 12:53:12 AM

Version 2.3.180

**Historic Preservation Property Tax Exemption Application
 Part 2 – Description of Improvements**

(To be completed by all applicants):

Complete the blocks below. Include site work, new construction, alterations, etc.

Property Identification Number 2068500000

Property Address 115 Bridge Street

Feature 1

<p>Feature <u>Site</u> Approx. date of feature <u>1815, 1845, 1970</u></p> <p>Describe existing feature and its condition: Yallana is a one-acre parcel located in the Dumas Homestead Subdivision Perimeter of property is defined by a non-historic chain link finish with masonry entrance pillars on Bridge Street. Site features non-historic c. 1970 wooden shed in deteriorated condition, non-historic patio from c. 1970 and historic well.</p> <p>Photo no. <u>1-1-1-8</u> Drawing no. <u>A1</u></p>	<p>Describe work and impact on existing feature:</p> <p>Site will be assessed by the COSA archaeologist and any ground disturbing will be mitigated by professional excavation and recovery of cultural material. Historic well and non-historic patio will be retained. Non-historic wooden shed will be removed. Parking will be provided at rear (south side) of property in its traditional location. Driveway will be added on east side of property through a historic curb cut leading to parking/garage area. A pool will be added in approximate location of pool dating to c. 1970.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 2

<p>Feature <u>North Elevation</u> Approx. date of feature <u>1876, 1970</u></p> <p>Describe existing feature and its condition: Elevation features raised brick and coquina foundation and porch deck with 7 bay entrance porch. Porch is covered with hip roof supported by 7 wooden posts. Remnants of wooden balustrade are found in eastern most bays. First floor exterior wall is stucco. Entrance is accessed by brick steps with concrete finish and has 8 panel wood door with multi-light transom and side lights. Two windows are 8/8 light wooden sash and two are 3 light casements. There are two wood dormers with wood detailing and multilight windows. Porch roof is in poor condition due to water damage.</p> <p>Photo no. <u>2-1-2-9</u> Drawing no. <u>A4, A6, A8</u></p>	<p>Describe work and impact on existing feature:</p> <p>Foundation/porch deck will be stabilized with spot repairs. Stucco will be retained and repaired as needed. Entrance door and sidelights will be retained with minor repairs and repainted. Wooden posts are sound and will be repaired and replaced in their original location. Porch roof will be reconstructed of wood and finished with a 40 year architectural shingle. Wooden features in dormers, including decorative shingles, will be selectively repaired. Windows will be repaired or replaced in kind. Casement windows at first floor level will be replaced with 6/6 light sash windows which are more in character with historic architecture.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 3

<p>Feature <u>East Elevation</u> Approx. date of feature <u>1876, 1970</u></p> <p>Describe existing feature and its condition: E. elevation continues foundation and porch found on N. elevation. Porch is six bays wide with wood balustrade in all bays. There are four 8/8 light wooden sash windows on the first floor. Upper half story features three gabled dormers with 4/4 light wooden sash windows. Porch roof has suffered extensive water damage and has failed in several locations.</p> <p>Photo no. <u>3-1-3-6</u> Drawing no. <u>A4, A6, A8</u></p>	<p>Describe work and impact on existing feature:</p> <p>Foundation/porch deck will be stabilized with spot repairs. Balustrade will be restored by replicating existing porch to its c. 1980 appearance. Stucco will be retained and repaired as needed. Wooden posts are sound and will be repaired and replaced in their original location. Porch roof will be reconstructed and finished with a 40 year architectural shingle. Wooden features in dormers will be selectively repaired. Windows will be repaired or replaced in kind.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Page Five – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

Feature 4

<p>Feature South Elevation _____ Approx. date of feature <u>1876,1970</u></p> <p>Describe existing feature and its condition: Features include a three-bay wide, unfinished coquina loggia at first floor which dates to c. 1970. Loggia is covered by shed roof finished with composition shingles. West portion of existing south exterior wall is original while eastern portion is coquina veneer. Upper half story has single gable dormer with 8/8 light wooden sash window. Eastern side of elevation features a c. 1970 non-historic wooden carport and a non-historic wooden stair leading to a non-historic wooden deck.</p> <p>Photo no.4-1-4Drawing no. <u>A5,A6,A9</u></p>	<p>Describe work and impact on existing feature:</p> <p>Non-historic wooden carport, stairs and deck will be removed in preparation of compatible addition. Features on south elevation will be retained and selectively repaired. A new wooden, 4/4 light sash window will be added in first floor of main building. A second new wooden, 4/4 light sash window will be added in second floor of south wing.</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 5

<p>Feature West Elevation _____ Approx. date of feature <u>1815 1876,1970</u></p> <p>Describe existing feature and its Condition:</p> <p>West elevation contains original c. 1815 coquina structural wall of building. Coquina is partially finished with stucco and features chimney and a narrow aperture window. Southern portion of elevation is finished with weatherboard on first floor level and has a single 8/8 light sash window. The upper half story has two gable dormers with 8/8 light wooden sash windows.</p> <p>Photo no.5-1-5-4Drawing no. <u>A5-A6, A9</u></p>	<p>Describe work and impact on existing feature:</p> <p>Features on south elevation will be retained and selectively repaired with matching materials. Two new wooden, 4/4 light sash windows will be added in first floor of main building.</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 6

<p>Feature Roof _____ Approx. date of feature <u>1876, 1990</u></p> <p>Describe existing feature and its condition:</p> <p>Main roof is a side facing gable type and finished with composition shingles. East slope of the roof is broken with a double-flued brick chimney finished with stucco with half round caps. West slope is broken by a later brick chimney which likely serviced a kitchen. Southern portion of main roof is an historic addition with slightly higher ridge and slope. Leaks have caused damage around fringes of roof but historic roof structure is sound.</p> <p>Photo no. 6-1-6-6Drawing no. <u>A4-6,A8-9</u></p>	<p>Describe work and impact on existing feature:</p> <p>Existing roof material will be removed and underlying roof structure will be selectively repaired. New roof surfacing will be 40 year architectural shingle over a ice and water membrane(peel and stick) with stainless steel fasteners. This roof surfacing will best conform with the anomalies (uneven ridge/roof slope) in existing historic roof while giving good wind load characteristics. Historic roof structure is significant and sound and will be stabilized and retained. Both chimneys will be retained and selectively repaired. Masonry repairs will done in accordance with National Park Service Historical Preservation – Technical Procedures. Loose brick will be secured. All brick, mortar joints will be cleaned with moderate pressure, using cleaning product(s) suggested by masonry restoration company. Excessive sized cracks will be grouted with mortar. All holes in brick will be filled with a specialty mortar mix to best match the brick.</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Page Six – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

Feature 7

<p>Feature Interior, 1st Floor _____ Approx. date of feature <u>1880, 1960</u></p> <p>Describe existing feature and its condition:</p> <p>First floor features living room, three bedrooms, an entrance foyer, bathrooms. Living room has original wooden floors, stucco walls, beamed ceiling and a large, unfinished coquina fire place. Rear (south) room configuration dates to 1960s Food Stamp Office. Kitchen/dining room is heavily remodeled. West wall of dining room features an unfinished coquina wall with a fireplace. East side of 1st floor has suffered significant water and termite damage.</p> <p>Photo no. <u>7-1-7-7</u> Drawing no. <u>A2, A7</u></p>	<p>Describe work and impact on existing feature:</p> <p>Non-historic partition and finishes in kitchen will be removed. A library consistent with historic open plan will be created. Floors in library will be wood, and walls and ceilings will be drywall. Stair hall will be retained and historic interior access to second floor will be restored. Parlor and fireplace will be retained in present configuration. Wood floor will be retained and deteriorated portions will be replaced with floor boards that closely match existing. Non-historic partitions in south wing will be partially removed and hallway will be created in what is believed to be its historic location. In order to minimize impact on historic features, new bathrooms will be located in this highly altered, service area of building. Chimney in this area will be retained.</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 8

<p>Feature Interior, 2nd Floor _____ Approx. date of feature <u>1880, 1960</u></p> <p>Describe existing feature and its condition:</p> <p>Upper half floor has two one-bedroom apartments which date to c. 1970 when building was converted to tri-plex. Attic story is documented by 1876 lithograph. Apartments are accessed by a stair from the patio and a stair leading to a deck on the south end of the rear wing. West apartment has wood floors, wood paneled walls and drywall ceiling. There is a modern brick fireplace in the west wall of the living room. East apartment has wooden floors and dry wall ceiling and wall finishes. This portion of second floor is a later c. 1900 service addition.</p> <p>Photo no. <u>8-1-8-7</u> Drawing no. <u>A3, A8</u></p>	<p>Describe work and impact on existing feature:</p> <p>Historic interior stair access to second floor will be restored to create a single unit. West bedroom will be created and brick fireplace will be retained. Bathroom will be added on east side of bedroom. Some reconfiguration of central rooms where non-historic bathrooms, closet are located will be undertaken to integrate former apartments through new hall. Chimneys will be retained. In order to minimize impact on historic features, new bathrooms will be located in south wing, a highly altered, service area of building.</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Feature 9

<p>Feature Rear Addition _____ Approx. date of feature <u>1970</u></p> <p>Describe existing feature and its condition:</p> <p>Rear addition will be located south of main building in area where non-historic carport c. 1970 and non-historic c. 1970 one story concrete and plywood storage building are located. Both non-historic structures are in deteriorated condition due to deferred maintenance and water damage.</p> <p>Photo no. <u>9-1-9-3</u> Drawing no. <u>A1, A9-11</u></p>	<p>Describe work and impact on existing feature:</p> <p>Compatible addition will be built at rear of property. Non-historic carport and storage building will be removed. Addition will be located on least conspicuous area of property where parking and service structures have been traditionally located and will be attached at rear of south wing where carport is presently located. Area where attachment will be made has been heavily remodeled. Addition will have no impact on historic features and will be reversible. A hyphen in the form of an entrance/hallway will serve as transition between historic building and new addition. Hyphen will be 10' wide and provide a 25.6' long separation from historic building. Addition will be wood frame and of compatible design and will be subordinate in height to historic structure.</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Page Seven – Historic Preservation Property Tax Exemption Application

Property Identification Number 2068500000

Property Address 115 Bridge Street

Property Use (To be completed by all applicants):

1. Use(s) before improvement: Office/tri-plex

2. Proposed use(s) after improvement: Residential

Special Exemption (Complete only if applying for exemption under s. 196.1998, F.S. (property occupied by non-profit organization or government agency and regularly open to the public):

NOTE: Applicants should check with local officials to determine whether or not the exemption program offered by their municipal government and/or county allows the special exemption provided by s. 196.1998, F.S.

1. Identify the governmental agency or non-profit organization that occupies the building or archaeological site:

2. How often does this organization or agency use the building or archaeological site? _____

3. For buildings, indicate the total useable area of the building in square feet. (For archaeological sites, indicate the total area of the upland component in acres) _____ square feet () acres ()

4. How much area does the organization or agency use? _____ square feet () acres ()

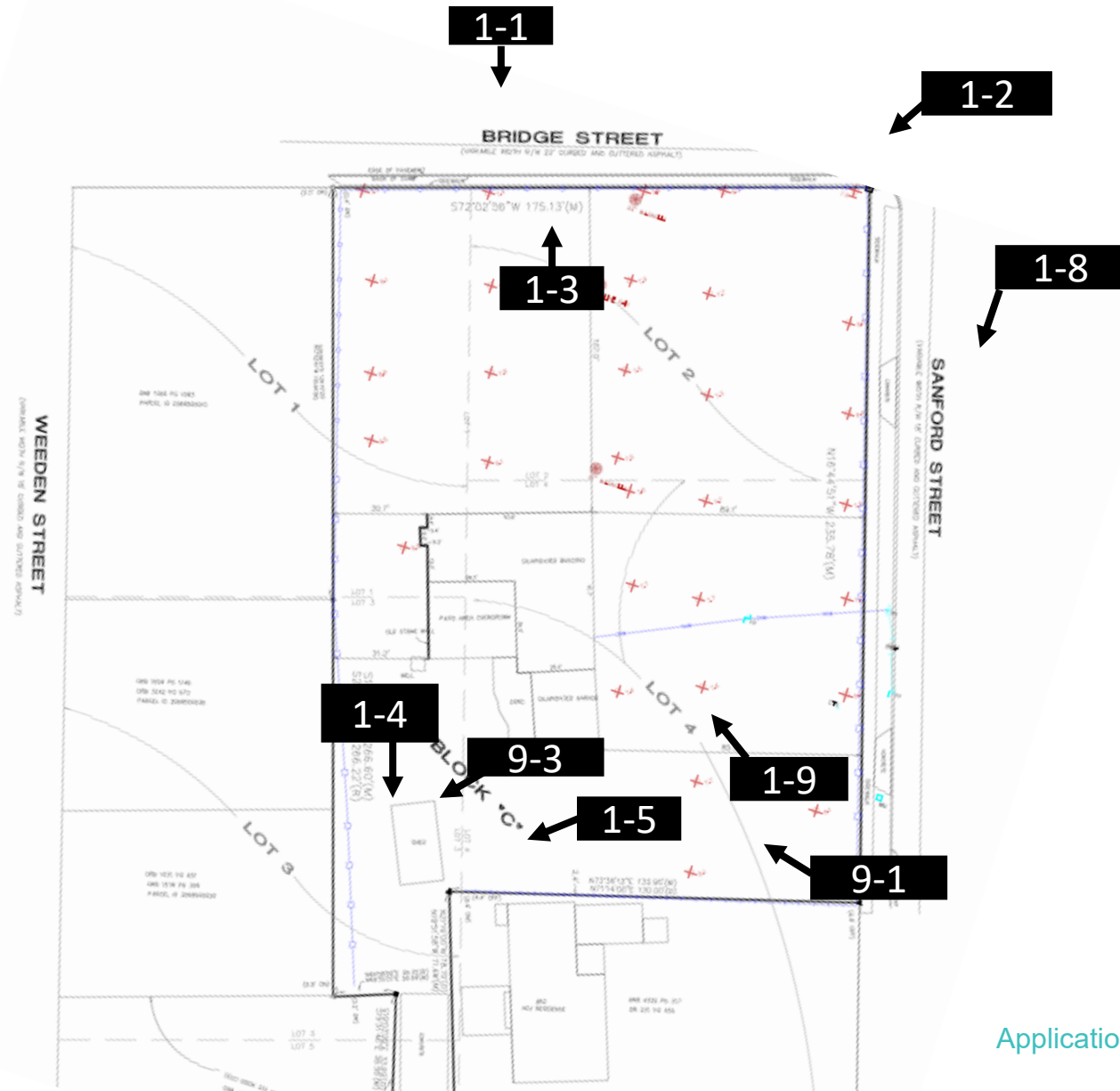
5. What percentage of the usable area does the organization or agency use? _____%

6. Is the property open to the public ()Yes ()No If so, when? _____

7. Are there regular hours? ()Yes ()No If so, what are they? _____

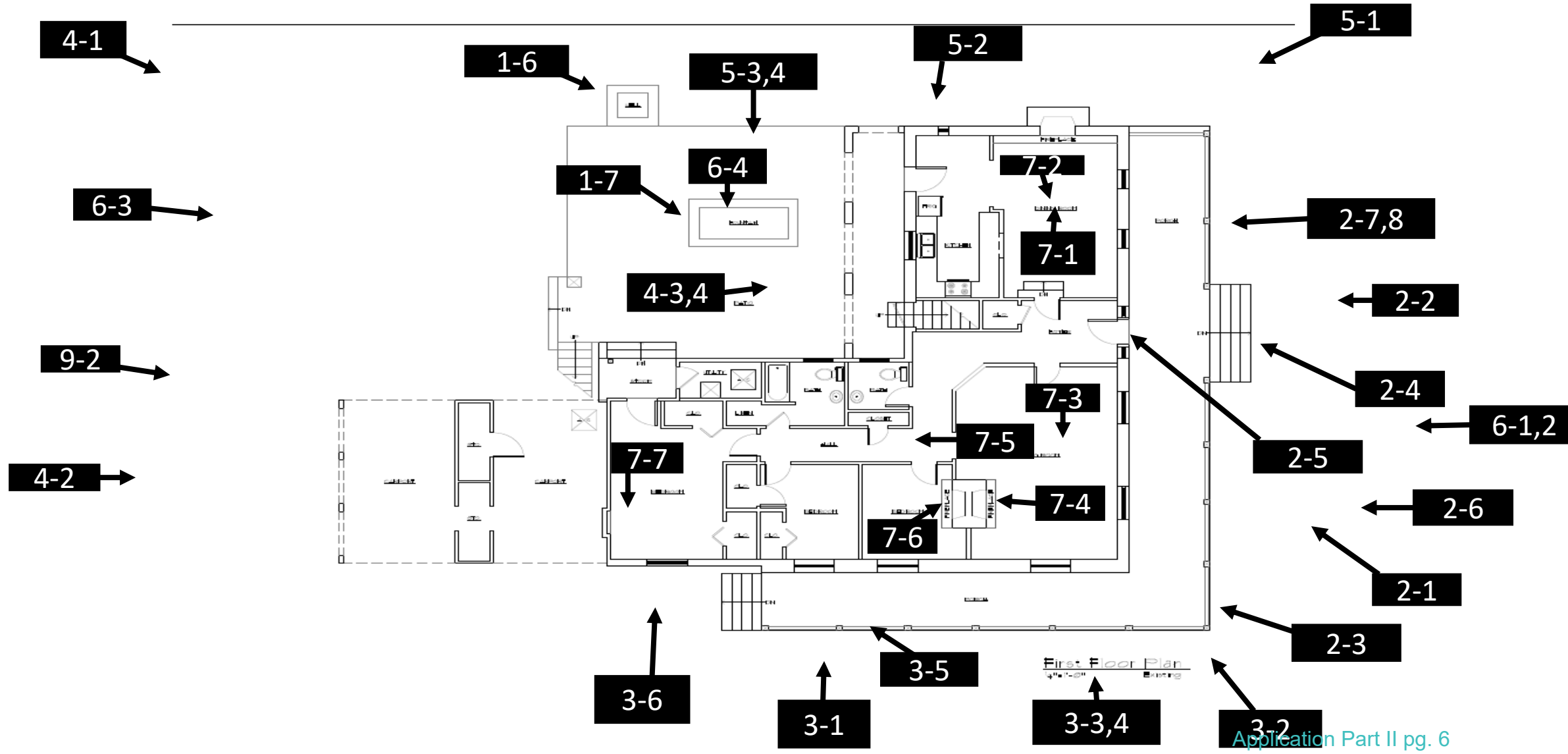
8. Is the property also open by appointment? ()Yes ()No

9. Is the property open only by appointment? ()Yes ()No



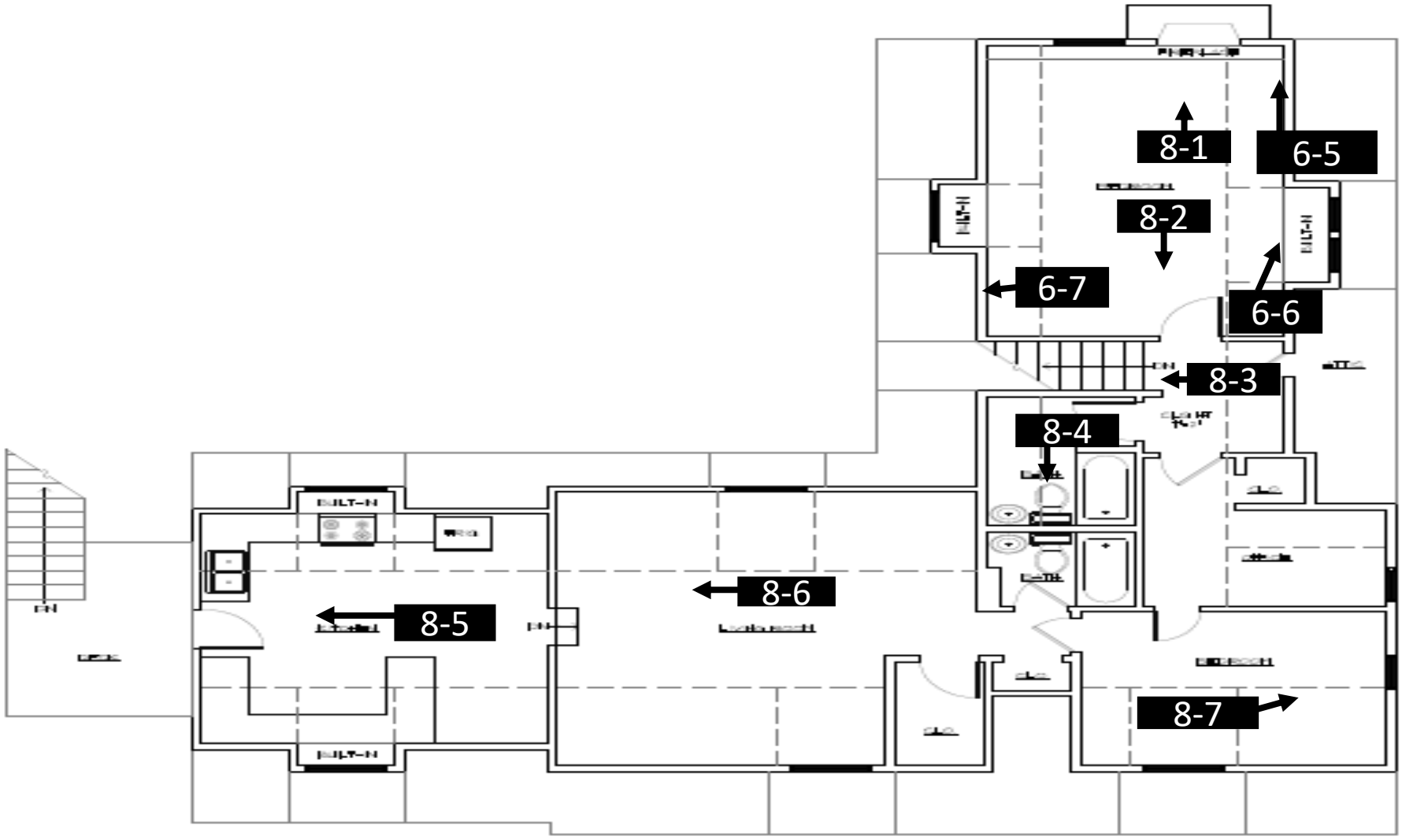
YALLAHA
115 BRIDGE STREET/ PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



YALLAHA
115 BRIDGE STREET/PHOTO KEY
LINCOLNVILLE HISTORIC DISTRICT

Received March 22, 2022
Planning and Building Department



Second Floor Plan
Existing

YALLAHA, 115 BRIDGE STREET

1. Site, facing south

2 Photo 1-1



1. Site, facing west

2 Photo 1-2



YALLAHA, 115 BRIDGE STREET

1. Site, facing north, entrance gate

2 Photo 1-3



1. Site, facing south, non-historic outbuilding

2 Photo 1-4



YALLAHA, 115 BRIDGE STREET

1. Site, facing east historic well
2. Photo 1-5



1. Site, facing west, non-historic patio, fountain
2. Photo 1-6



YALLAHA, 115 BRIDGE STREET

1. Site, facing south, Sanford Street
- 2 Photo 1-7



1. Site, facing west from Sanford Street
- 2 Photo 1-8



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, condition

2 Photo 2-1



1. North elevation, facing south, condition

2 Photo 2-2



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, foundation
- 2 Photo 2-3



1. North elevation, facing south, steps
- 2 Photo 2-4



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, main entrance
- 2 Photo 2-6



1. North elevation, facing south, dormer with fish-scale shingles
- 2 Photo 2-7



YALLAHA, 115 BRIDGE STREET

1. North elevation, facing south, deteriorated porch roof

2 Photo 2-8



1. North elevation, facing south, deteriorated porch roof

2 Photo 2-9



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, condition

2 Photo 3-1



1. East elevation, facing west, foundation

2 Photo 3-2



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, collapsed porch roof

2 Photo 3-3



1. East elevation, facing west, dormer, chimney

2 Photo 3-4



YALLAHA, 115 BRIDGE STREET

1. East elevation, facing west, dormer
- 2 Photo 3-5



1. East elevation, facing west, window/AC unit.
- 2 Photo 3-6



YALLAHA, 115 BRIDGE STREET

1. South elevation, facing north

2 Photo 4-1



1. South elevation, facing south, non-historic carport

2 Photo 4-2



YALLAHA, 115 BRIDGE STREET

1. South elevation, facing north, loggia
- 2 Photo 4-3



1. South elevation, facing north, dormer
2. Photo 4-4



YALLAHA, 115 BRIDGE STREET

1. West elevation, facing south, coquina chimney

2 Photo 5-1



1. West elevation, facing east, exposed coquina

2 Photo 5-2



YALLAHA, 115 BRIDGE STREET

1. West elevation, facing east, rear wing
- 2 Photo 5-3



1. West elevation, facing east, dormer
- 2 Photo 5-4



YALLAHA, 115 BRIDGE STREET

1. Roof, facing south, condition

2 Photo 6-1



1. Roof, facing south, condition

2 Photo 6-2



YALLAHA, 115 BRIDGE STREET

1. Roof, facing north, condition
- 2 Photo 6-3



1. Elevation, facing west, joint between original roof/rear addition
- 2 Photo 6-4



YALLAHA, 115 BRIDGE STREET

1. Roof, facing west, interior roof structure
- 2 Photo 6-5



1. Elevation, facing south, colonial period beams
- 2 Photo 6-6



YALLAHA, 115 BRIDGE STREET

1. Roof, facing west, interior roof structure, dowels

2 Photo 6-7



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing west, coquina wall, dining room

2 Photo 7-1



1. Interior, 1st floor, facing east, dining room

2 Photo 7-2



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing east, kitchen
2. Photo 7-3



1. Interior, 1st floor, facing east, parlor
2. Photo 7-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing south, parlor/coquina fireplace

2 Photo 7-5



1. Interior, 1st floor, facing east, parlor/wood floor

2 Photo 7-6



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing south, c. 1960 offices

2 Photo 7-7



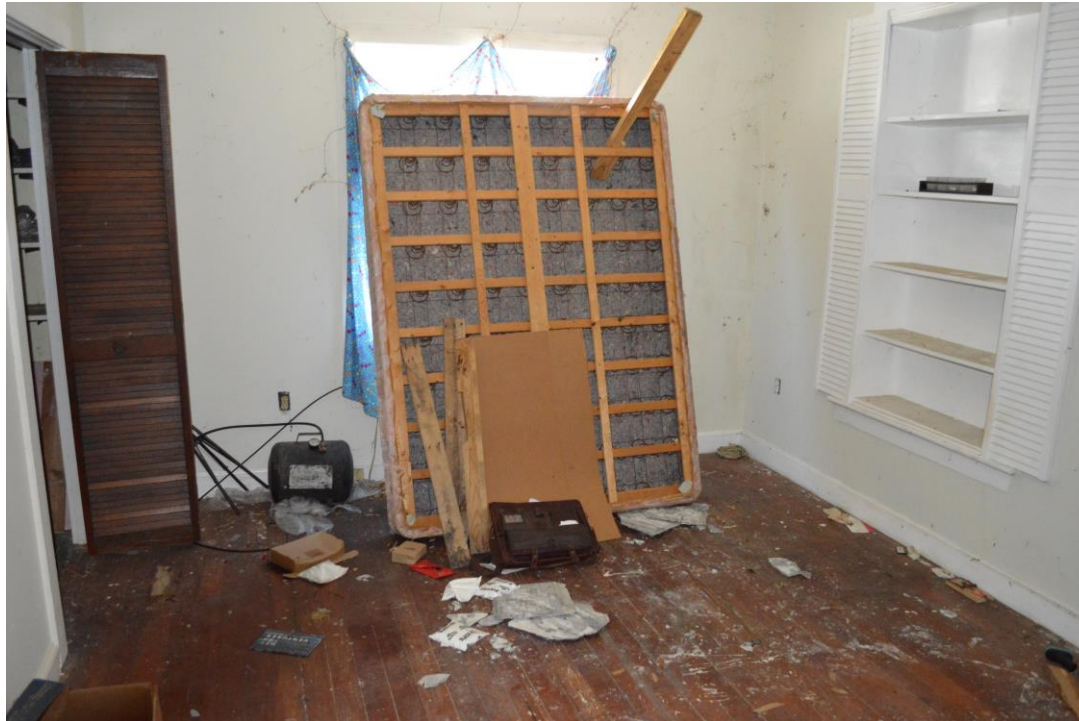
1. Interior, 1st floor, facing north, parlor/coquina fireplace

2 Photo 7-8



YALLAHA, 115 BRIDGE STREET

1. Interior, 1st floor, facing east, rear addition
2. Photo 7-9



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing west, apt. bedroom

2 Photo 8-1



1. Interior, 2nd floor, facing east, apt. bedroom

2 Photo 8-2



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing south, stair to 2nd floor

2 Photo 8-3



1. Interior, 2nd floor, facing east, apt. bathroom

2. Photo 8-4



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing south, rear apt. kitchen
2. Photo 8-7



YALLAHA, 115 BRIDGE STREET

1. Interior, 2nd floor, facing north, apt. bedroom

2 Photo 8-5

1. Elevation, facing south, non-historic outbuilding

2 Photo 8-6



YALLAHA, 115 BRIDGE STREET

1. Rear addition, facing north, non-historic carport to be removed

2 Photo 9-1



1. Rear, facing north, non-historic carport to be removed

2 Photo 9-2



YALLAHA, 115 BRIDGE STREET

1. Rear addition, facing south, non-historic outbuilding to be removed

2 Photo 9-3



PERMIT PLANS

BUILDING RENOVATIONS + ADDITIONS

TO

THE GRIFFIN RESIDENCE

"YAHALLA"

115 BRIDGE ST.
ST. AUGUSTINE, FL.

BRIDGE STREET

(VARIABLE WIDTH R/W 20' CURBED AND GUTTERED ASPHALT)



BUILDING FOOTAGE INFORMATION

1st FLOOR CONDITIONED SPACE	1,369 Sq. Ft.
2nd FLOOR CONDITIONED SPACE	1,460 Sq. Ft.
PORCH	156 Sq. Ft.
NEW ADDITION	2,400 S.F.
POOL	720 S.F.
SECOND FLOOR LOFT	300 S.F.
PORCHES	340 S.F.

STRUCTURE INFORMATION

MEAN ROOF HEIGHT	0'-0"
TOTAL ROOF HEIGHT	0'-0"
NUMBER OF STORIES	1/2

TYPE OF CONSTRUCTION

TYPE VB
PROJECT IS LOCATED EAST OF I-95
WIND-BORNE DEBRIS PROTECTION IS REQUIRED

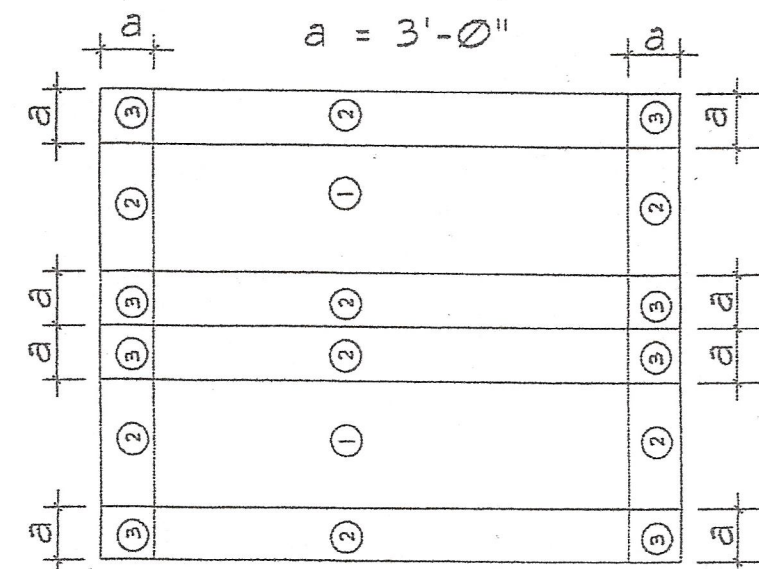
WIND ZONE INFORMATION

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, & MEETS THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7th EDITION

- BASIC WIND SPEED (3 SECOND GUSTS) — 130 MPH.
- WIND IMPORTANCE FACTOR — 1.0
- WIND EXPOSURE CATEGORY — B
- INTERNAL PRESSURE COEFFICIENT — ±0.18 OR -0.18
- COMPONENT & CLADDING WIND LOADS — Lbs./sq.ft.

HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENTS = 1.00

ROOF	EFFECTIVE WIND AREA FL. Sq.			
	10	20	50	100
1	10.5	-25.9	10.0	-25.2
2-3	10.5	-43.5	10.0	-38.8
4	25.9	-28.1	24.1	-26.9
5	25.9	-34.7	24.1	-32.4
ROOF OVERHANG	10	20	50	100
	-37.3	-36.7	-35.2	-35.1
	-61.5	-48.3	-30.8	-17.6



NOTES:

- FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED BY THE DESIGNER, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.
- SEE FIGURES FOR LOCATION OF ZONES.
- PLUS AND MINUS SIGNS SIGNIFY PRESSURE ACTING TOWARD AND AWAY FROM THE BUILDING SURFACES.

CODE ANALYSIS

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, & MEETS THE REQUIREMENTS OF:
 BUILDING - FLORIDA BUILDING CODE, BUILDING 2020 7th EDITION
 PLUMBING - FLORIDA BUILDING CODE, PLUMBING 2020 7th EDITION
 MECHANICAL - FLORIDA BUILDING CODE, MECHANICAL 2020 7th EDITION
 LIFE SAFETY - NATIONAL FIRE PREVENTION ASSOC. CODE, LATEST EDITION
 FIRE CODE - FLORIDA FIRE PREVENTION CODE 7th EDITION
 HANDI-CAP CODE - FLORIDA BUILDING CODE, CHAPTER 11 - ACCESSIBILITY, 2020 7th EDITION
 ACCESSIBILITY CODE - FLORIDA BUILDING CODE, CHAPTER 11 - ACCESSIBILITY, 2020 7th EDITION
 ENERGY CODE - FLORIDA BUILDING CODE, ENERGY CONSERVATION, 2020 7th EDITION
 NATIONAL ELECTRIC CODE CURRENT EDITION

LIST OF DRAWING

- A:1 SITE PLAN
- A:2 FIRST FL. DEMOLITION PLAN
- A:3 SECOND FL. DEMOLITION PLAN
- A:4 NORTH & EAST ELEVATIONS
- A:5 SOUTH & WEST ELEVATIONS
- A:6 EXISTING SECTIONS
- A:7 PROPOSED FIRST FLOOR PLAN
- A:8 PROPOSED SECOND FLOOR PLAN
- A:9 PROPOSED ELEVATIONS
- A:10 PROPOSED ELEVATIONS
- A:11 PROPOSED BUILDING SECTIONS

STRUCTURAL NOTES

- DESIGN LOADS:
 - A. ROOF LIVE LOADS — 16 ps.f.
 - B. FLOOR LIVE LOADS — 40 ps.f.
 - C. WIND LOADS — 120 mph. (FL. BLDG. CODE 2020)
- MATERIAL
 - A. CONCRETE: DESIGN AND CONSTRUCTED PER A.C.I. 318-83

ITEM	COMPRESSIVE STRENGTH @ 28 DAYS
SLAB	2500 P.S.I.
CMU FILLED CELLS & BEAMS	2500 P.S.I.

 - B. REINFORCING STEEL: CONFORM TO ASTM A-615 GAGE 60
- STRUCTURAL STEEL: DESIGN PER CURRENT ADDITION OF A.I.S.C.
 - 1. SHAPES AND PLATES CONFORM TO ASTM A-36
 - 2. WELDING CONFORM TO "AWS D11, STRUCTURAL WELDING CODE"
 - 3. ANCHOR BOLTS AND STEEL TO WOOD SHALL CONFORM TO ASTM A-307
 - 4. WELDED CONNECTIONS NOT SHOWN ON DRAWING SHALL HAVE ALL CONTACTING STEEL SURFACES CONTINUOUS WELDED WITH SUFFICIENT WELD TO FULLY DEVELOP THE THINNER MATERIAL.
- FRAMING LUMBER: SOUTHERN PINE PER N.F.P.A. NATIONAL DESIGN SPECS. FOR WOOD CONSTRUCTION.
 - 1. SAUN LUMBER 2x4 THRU 2x12 SHALL BE SOUTHERN PINE NO. 2 @ 19% M.C.
 - 2. INTERIOR WALL STUDS SHALL BE 8PRUCE-PINE-FIR NO.2
 - 3. LVL BEAMS SHALL BE SOUTHERN PINE Fb=2400 P.S.I.
 - 4. SAUN LUMBER 4x4 AND LARGER SHALL BE SOUTHERN PINE NO. 1 @ 19% M.C.
- WOOD FLOOR & ROOF TRUSSES: DESIGN BY THE MANUFACTURER TO SUPPORT DEAD, WIND AND LIVE LOADS.
 - 1. MANUFACTURE SHALL SUBMIT ERECTION DRAWINGS FOR REVIEW BEFORE FABRICATING TRUSSES.
 - 2. ERECTION DRAWINGS SHALL SHOW ALL LATERAL AND DIAGONAL BRACING AS REQUIRED IN THE TRUSS SYSTEM.
 - 3. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE MANUFACTURER
- PLYWOOD ROOF AND WALL SHEATHING:
 - CONFORM TO THE AMERICAN PLYWOOD ASSOC. STANDARDS AND SHALL BE AP C-D INT. WITH EXTERIOR GLUE (CDX) MIN.
- CONCRETE MASONRY UNITS: CONFORM TO ASTM C-90.
 - MORTAR SHALL BE TYPE M OR S.
- WOOD FRAMING ANCHORS AND HURRICANE TIE CLIPS
 - SHALL BE "GO-BOLTS" OR EQUAL.
- CONCRETE MASONRY UNITS:
 - A. ALL CMU SHALL HAVE #5 BAR VERTICAL WITH CELL FILLED WITH CONCRETE AS SHOWN ON DRAWINGS.
 - B. ALL CMU SHALL HAVE HORIZONTAL JOINT REINFORCING SPACED 16" O.C. VERTICAL. REINFORCING SHALL BE FABRICATED FROM 3 GAUGE GALVANIZED WIRE.
 - C. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMP. BRACING UNTIL THE ENTIRE STRUCTURE IS PLUMB AND SECURED IN PLACE.
- SHEATHING NAILING:
 - A. ROOF SHEATHING SHALL BE NAILED AS FOLLOWS:
 - 8d RING SHANK NAILS
 - 8d NAILS @ 6" O.C. AT PANEL EDGES.
 - 8d NAILS @ 9" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - 8d NAILS @ 4" O.C. AT ALL SUPPORTS WITHIN 4'-0" OF EDGES.
 - B. PORCH CEILING OR SUB CEILING WITH RING SHANK NAILS:
 - 8d NAILS @ 4" O.C. AT PANEL EDGES.
 - 8d NAILS @ 8" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - C. ALL EXTERIOR WALLS BETWEEN OPENINGS AND AT CORNERS SHALL BE SHEAR WALL SEGMENTS.
 - PLYWOOD NAILING TO BE: 8d NAILS @ 6" O.C. EACH SHEAR WALL SEGMENT SHOULD HAVE 1/2 @ THREADED ROD WITHIN 8" OF SHEAR WALL.
- CMU WALL OPENING HEADS, JAMBS, AND WINDOW SILLS SHALL BE 2x6 MIN. F.T. WITH 1/4" DIA. x 3 1/4" LONG "TAPCONS" @ 16" O.C.
- ALL EXTERIOR WINDOWS AND DOORS SHALL MEET 130 MPH. WIND SPEED. WIND BORNE DEBRIS PROTECTION REQUIRED: IMPACT RESISTANT WINDOWS OR SHUTTERS BY ARCHITECT OR CONTRACTOR.

LES THOMAS
ARCHITECT

BUILDING RENOVATION
GRIFFIN RESIDENCE

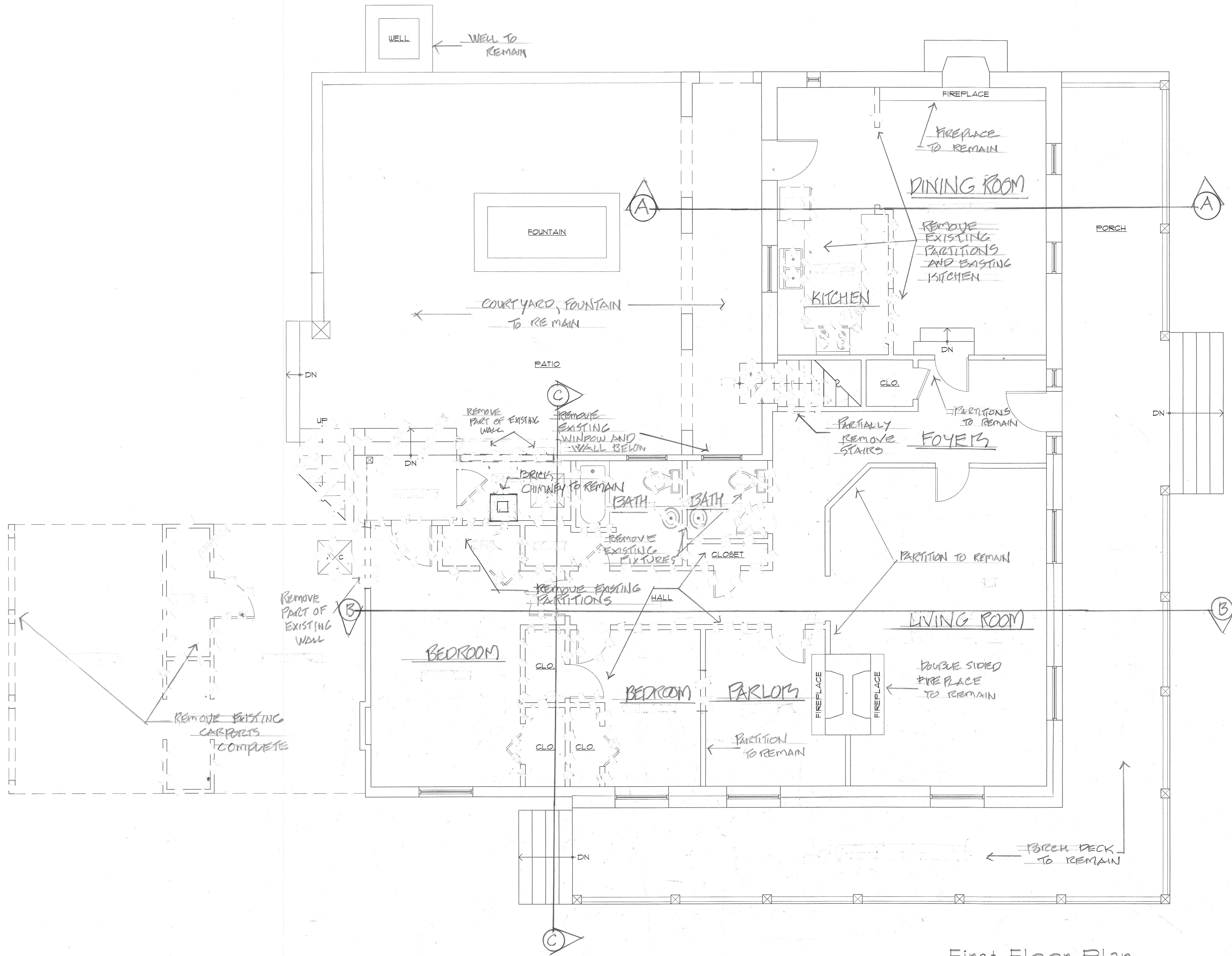
Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A-1

32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

REVISED 4-14-22



First Floor Plan

1/4"=1'-0" Existing

DEMOLITION PLAN

NOTE: EXTERIOR WALLS TO REMAIN, REPAIR OR REPLACE WITH COMPATIBLE MATERIAL AS REQUIRED FB TO TROUGH OR TERMITE DAMAGE.

LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A2

REVISED 4-14-22

LES THOMAS
ARCHITECT

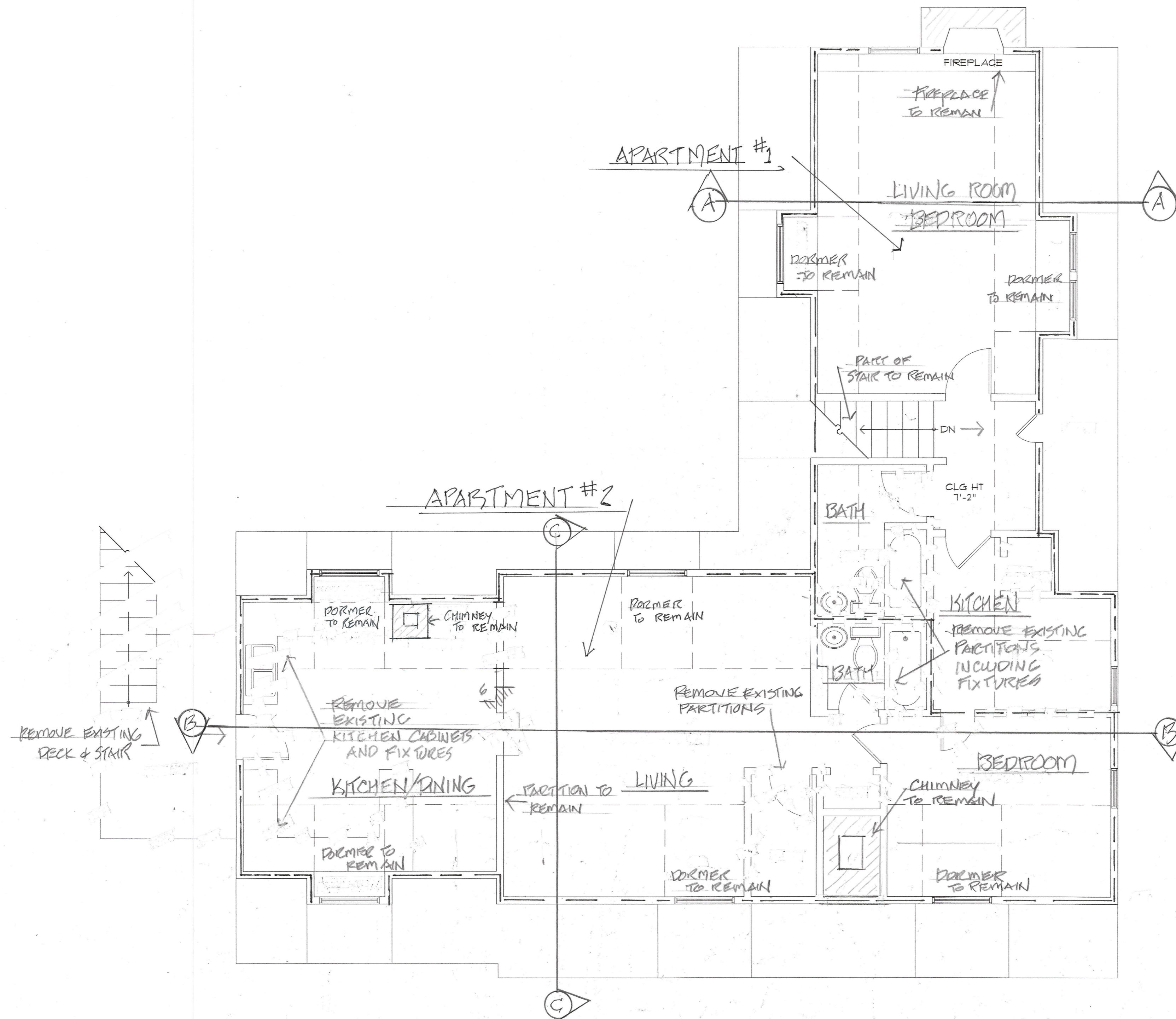
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3.8.22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET

A3



Second Floor Plan
1/4"=1'-0" Existing
DEMOLITION PLAN

NOTE: EXTERIOR WALLS TO REMAIN, REPAIR OR REPLACE WITH COMPATIBLE MATERIAL AS REQUIRED TO TOUGH OR TERMITE DAMAGE.

REVISED 4.14.22

LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A4



North Elevation
1/4" = 1'-0" Existing



East Elevation
1/4" = 1'-0" Existing

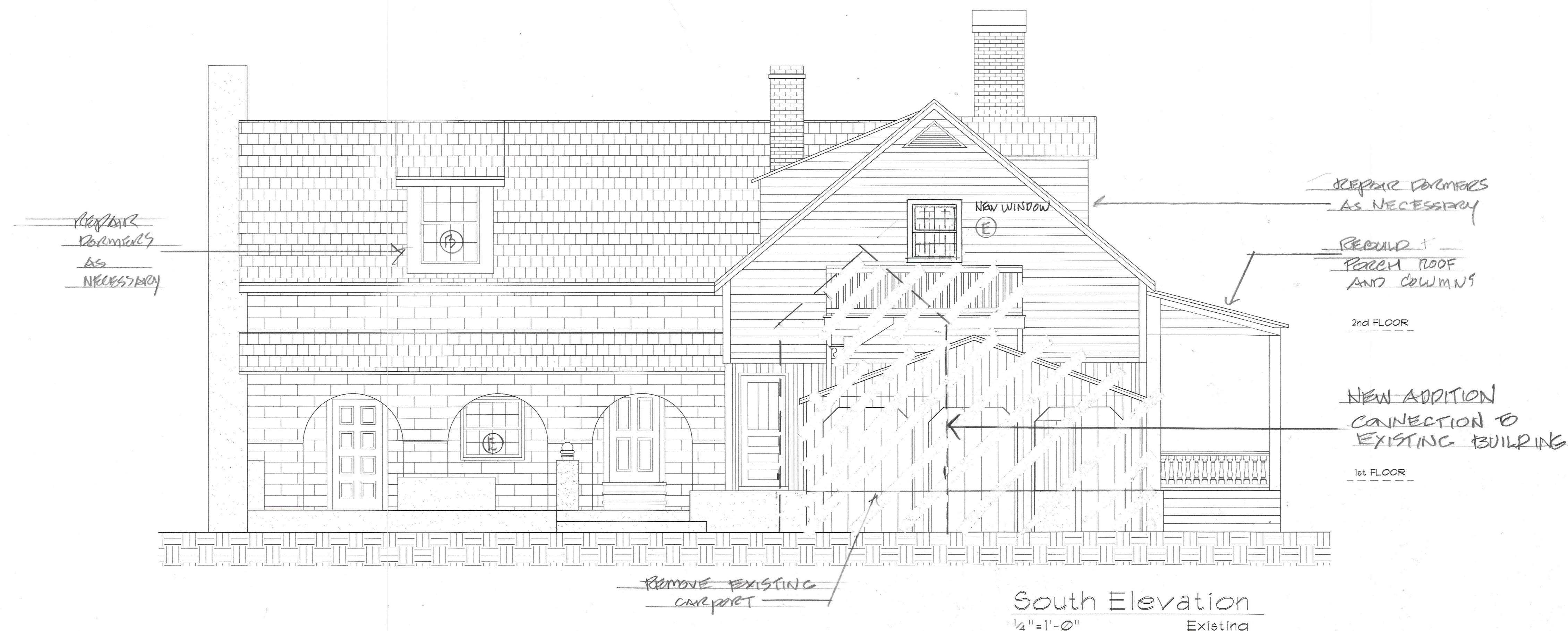
REVISED 4-14-22

LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

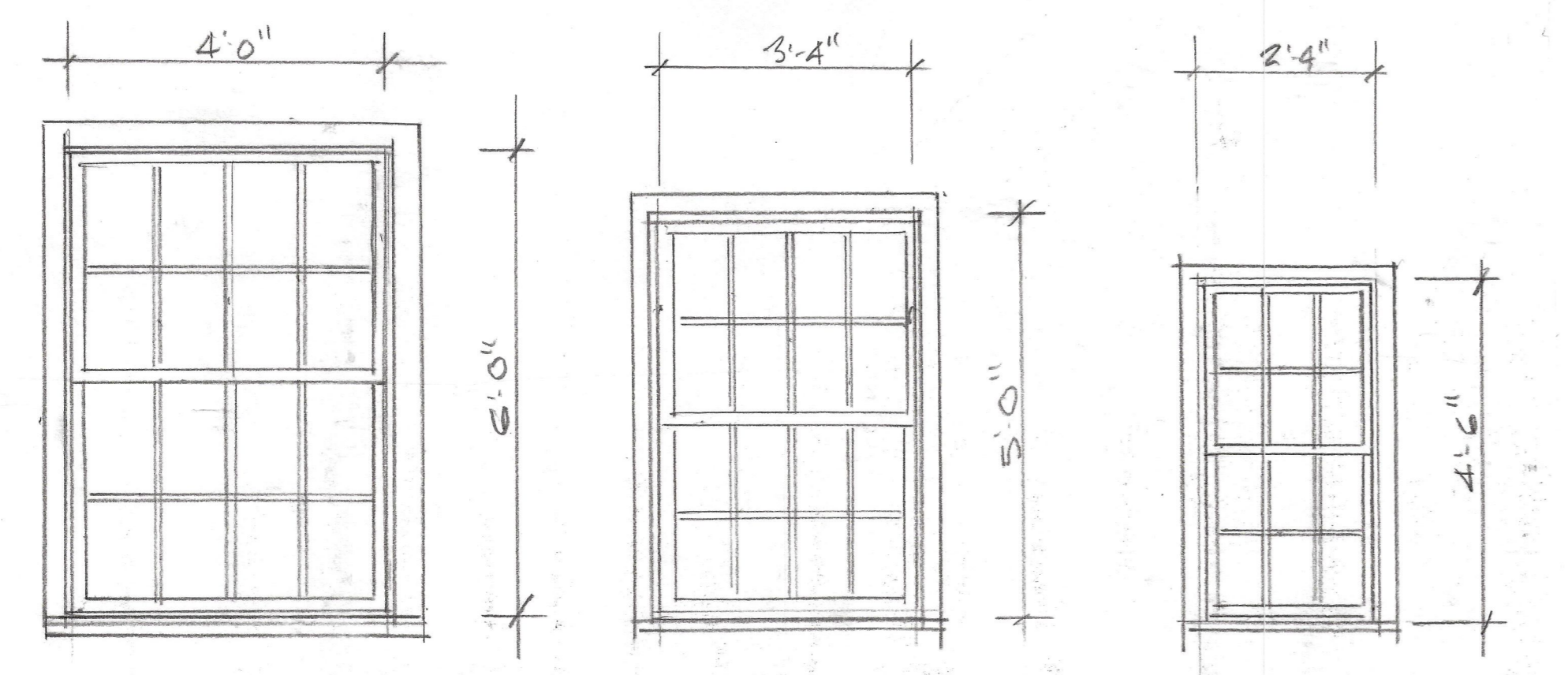
BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

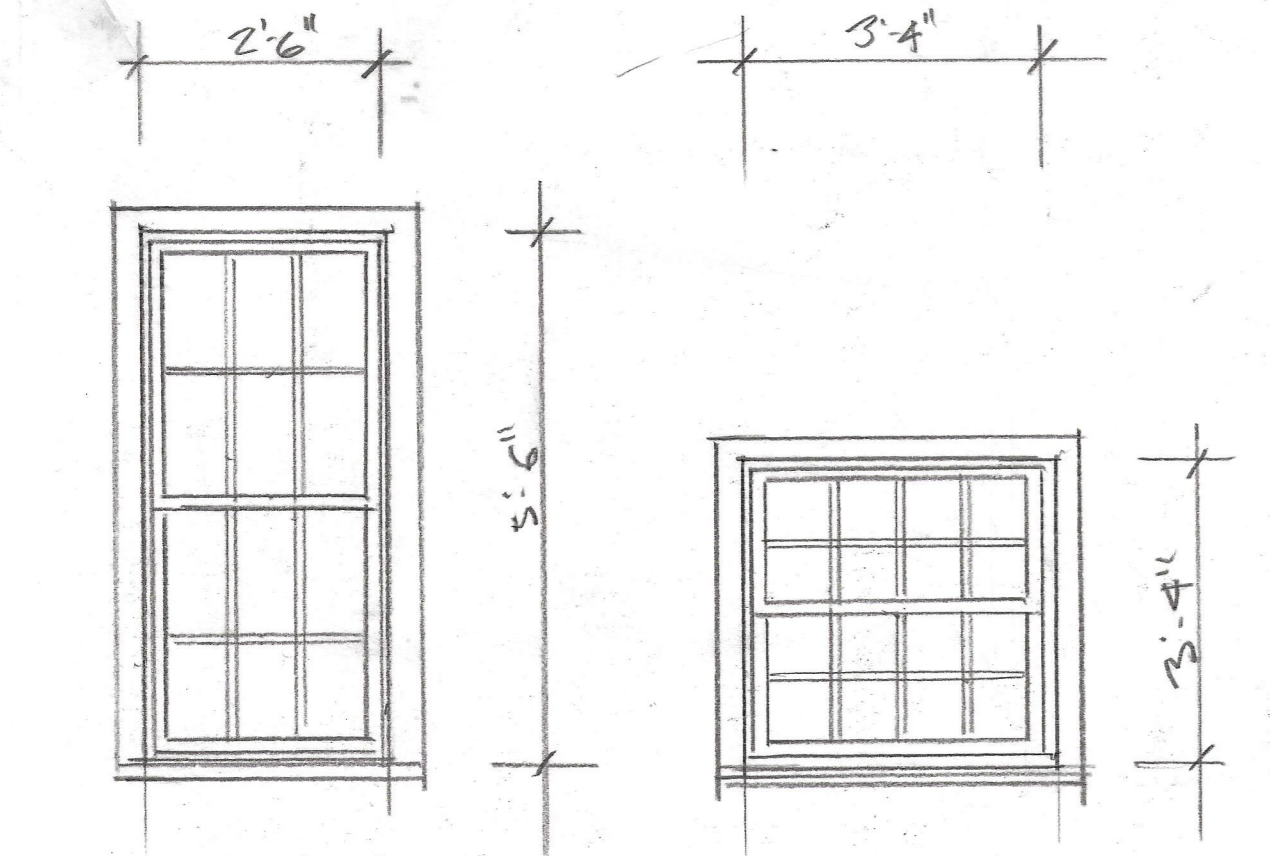
SHEET
A5



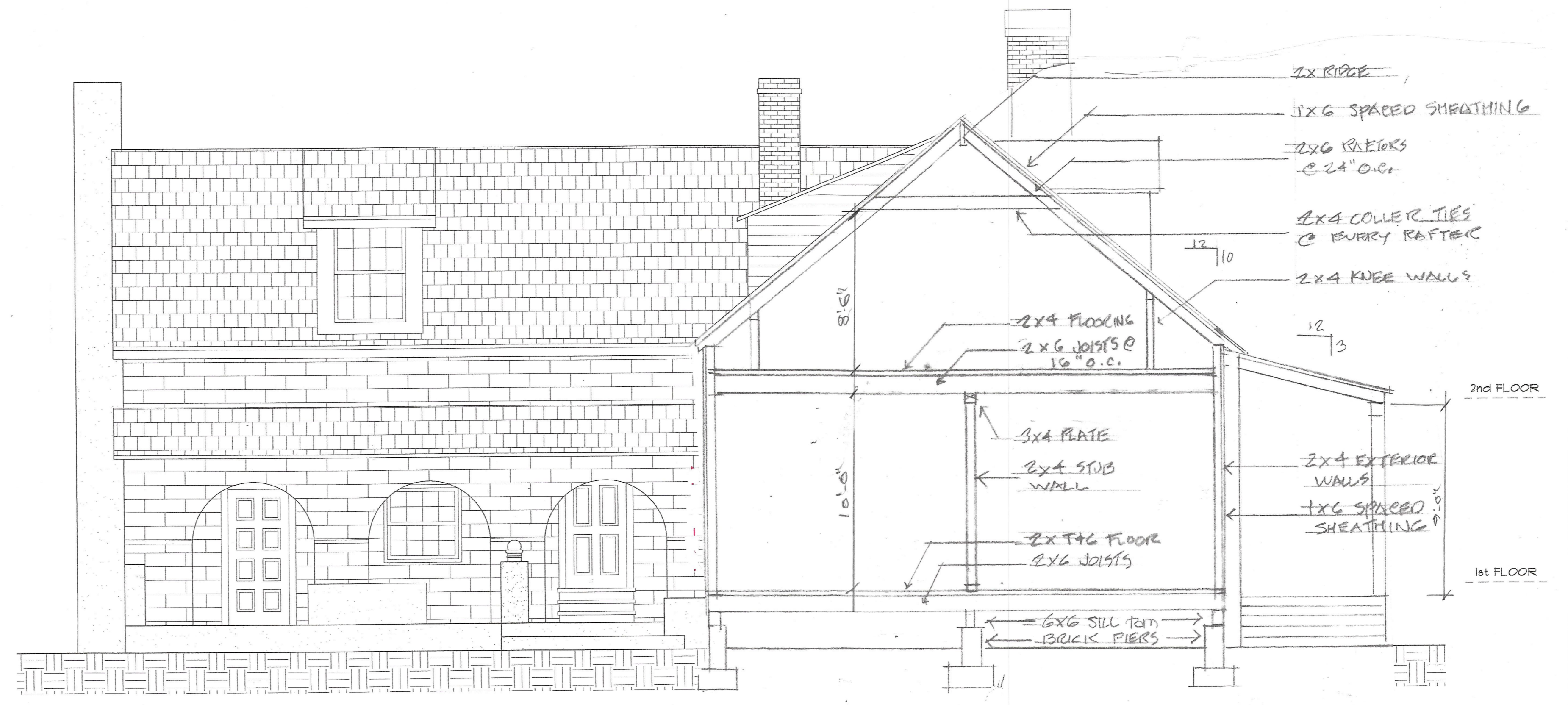
REVISED 4-14-22



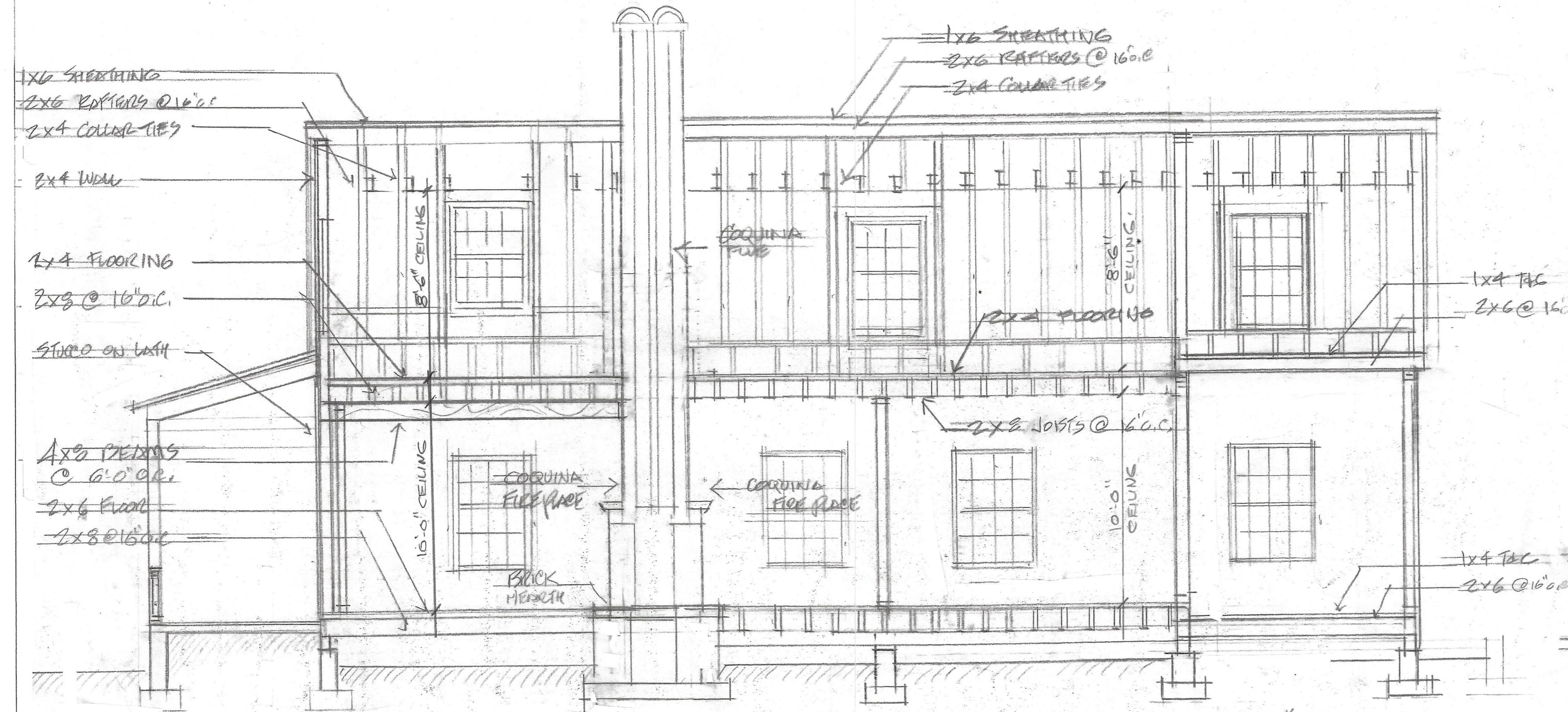
WINDOW "A" WINDOW "B" WINDOW "C"
 REPLACE w/
 OPERABLE WOOD
 WINDOW,



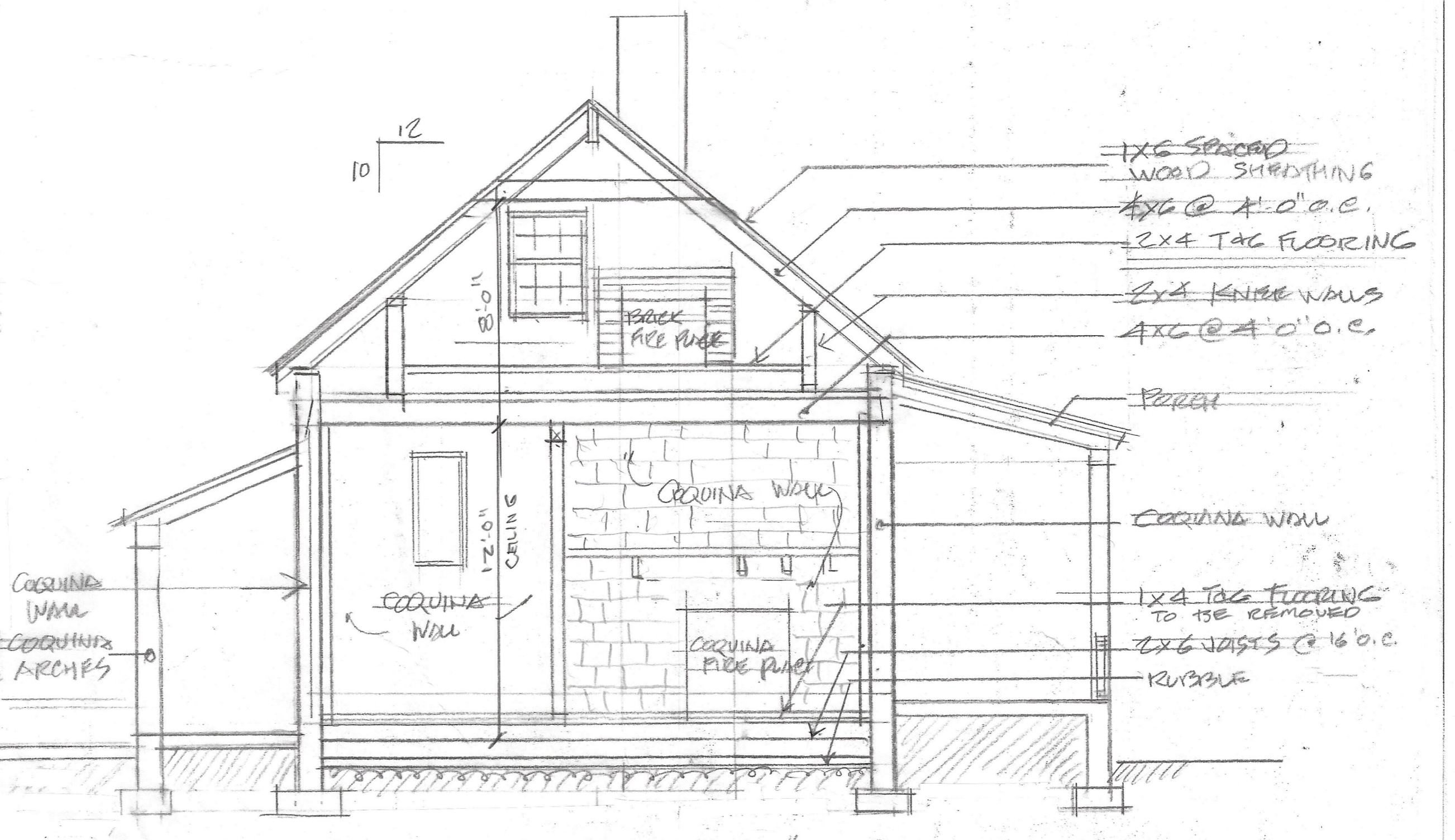
WINDOW "D" WINDOW "E"
 REPLACE EXISTING
 ALUMINUM WINDOW
 w/ NEW WOOD WINDOW



SECTION "C" 1/4"=1'-0"



SECTION "B"



SECTION "A" 1/4"=1'-0"

LES THOMAS
 ARCHITECT

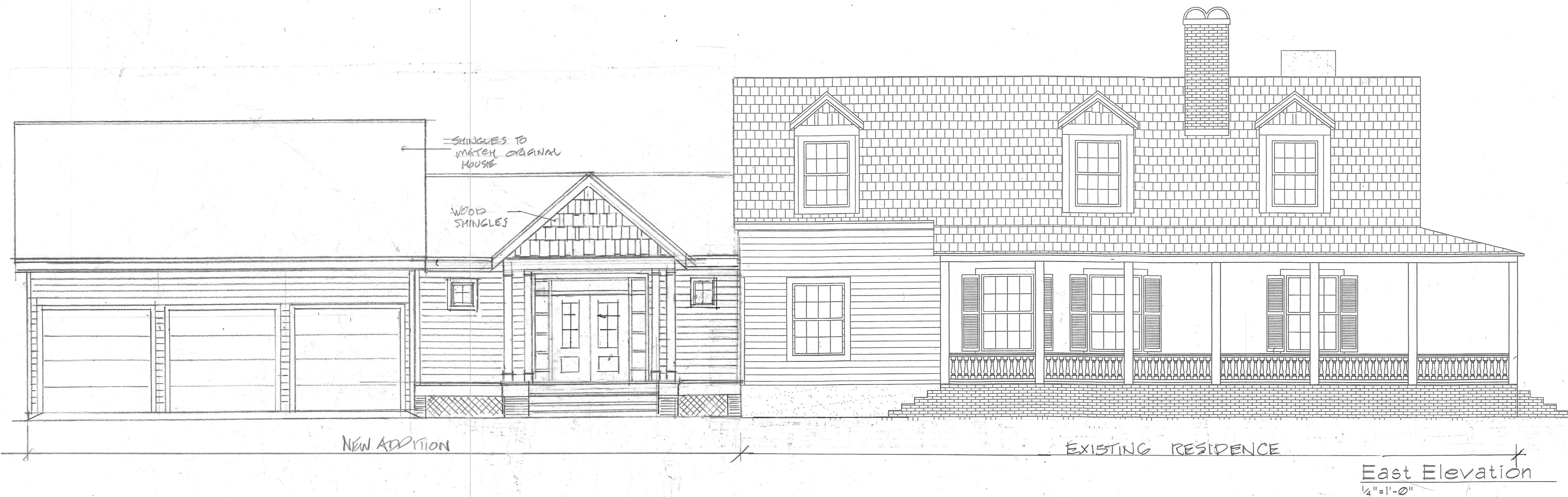
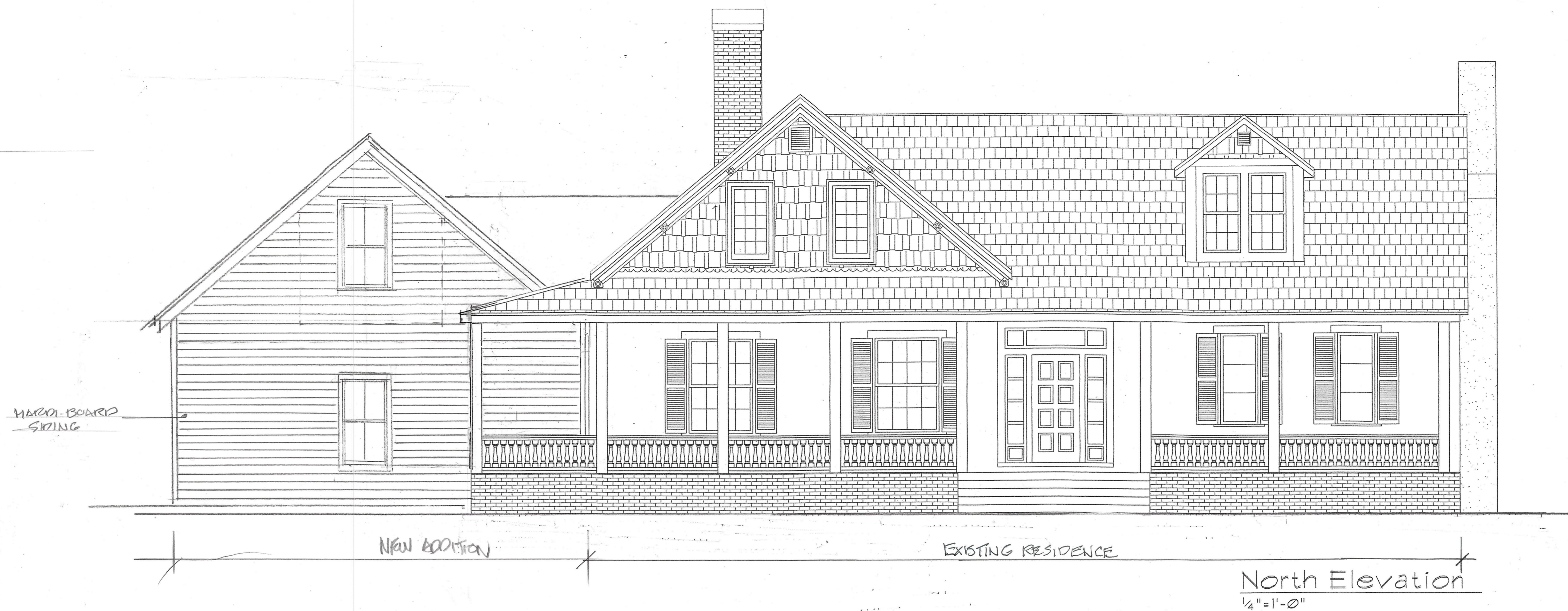
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE
 115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
 Scale: AS NOTED
 Drawn: MURPHY
 File: GRIFFIN

SHEET
 A.6

REVISED 4-14-22



LES THOMAS
ARCHITECT

32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

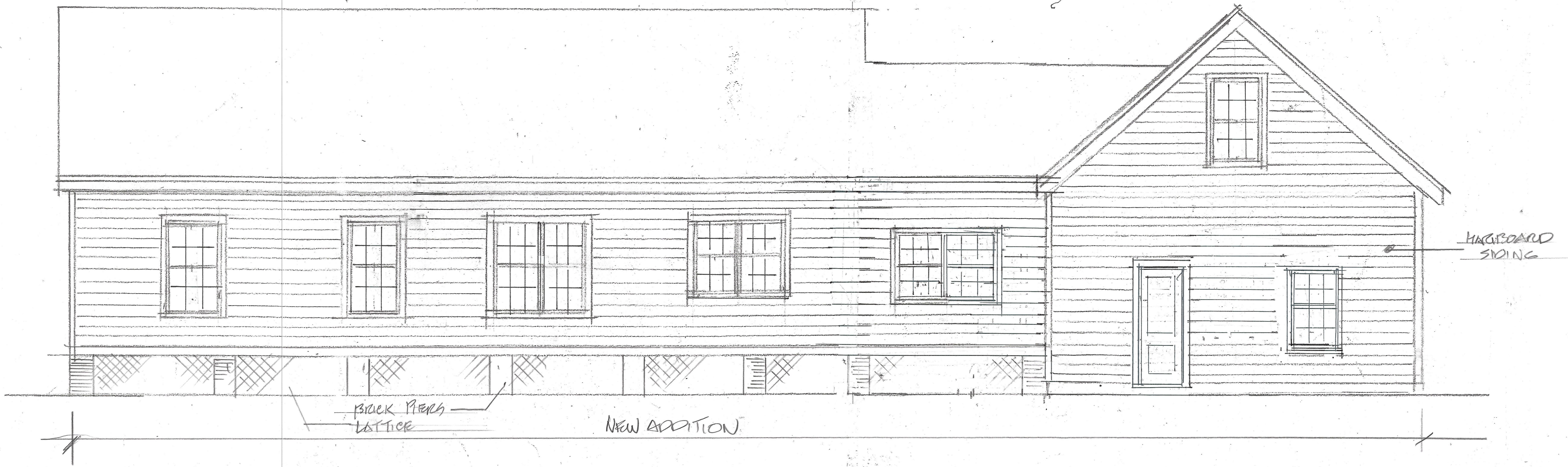
BUILDING RENOVATION
GRIFFIN RESIDENCE

115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET

A9



South Elevation
1/4" = 1'-0"



WEST ELEVATION

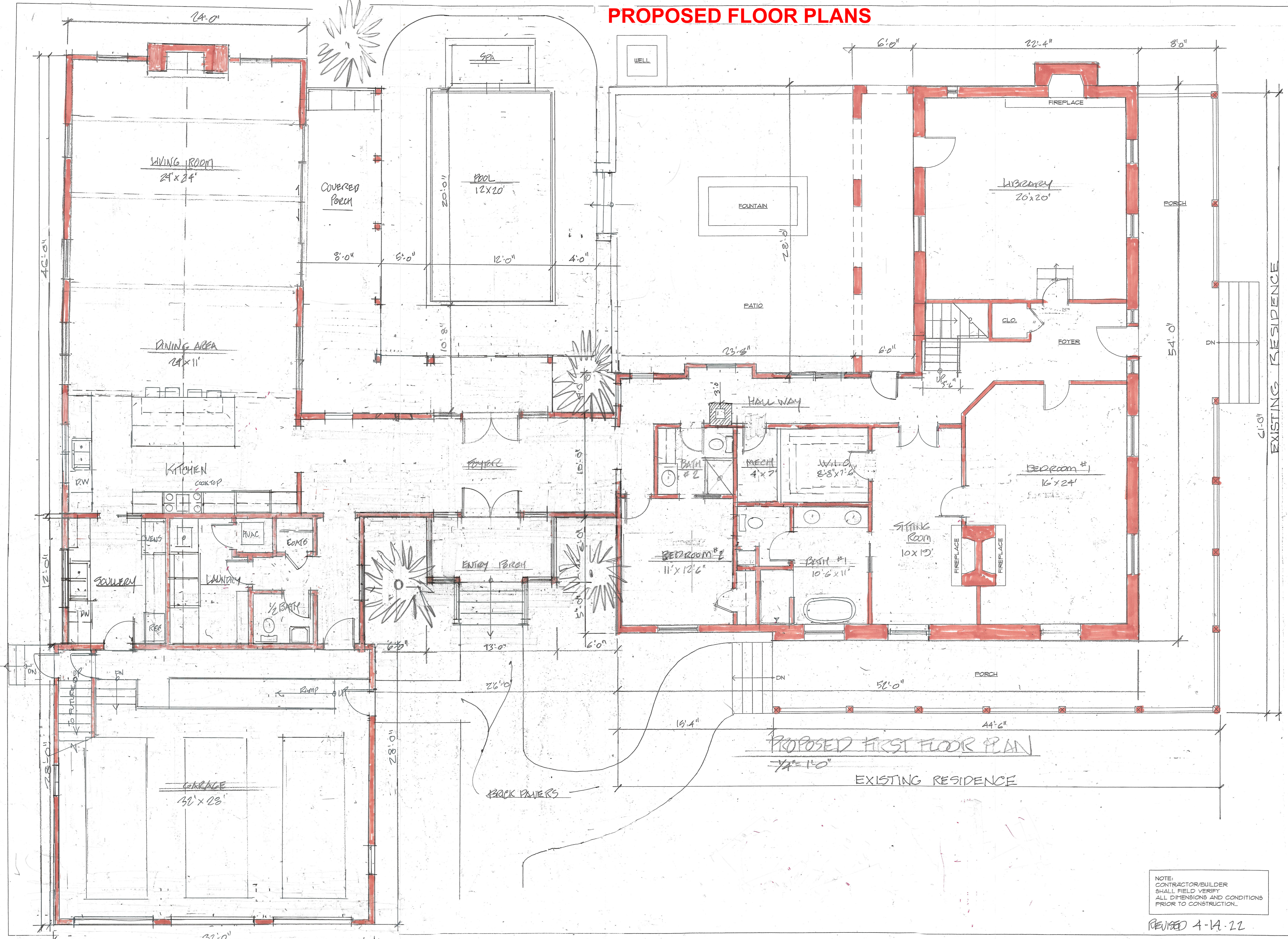
LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A-10

PROPOSED FLOOR PLANS



LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

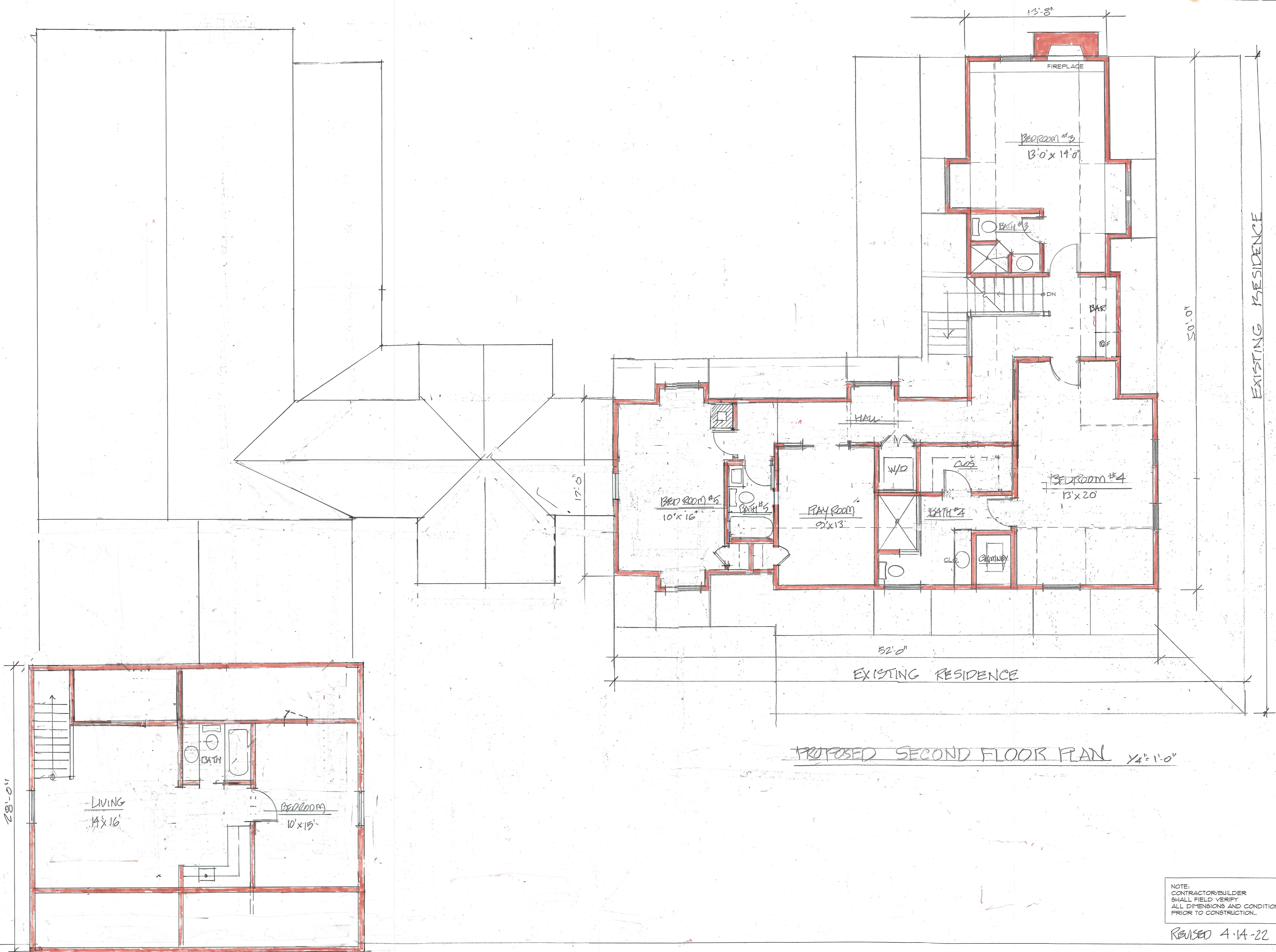
BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A7

NOTE:
CONTRACTOR/BUILDER
SHALL FIELD VERIFY
ALL DIMENSIONS AND CONDITIONS
PRIOR TO CONSTRUCTION.

REVISED 4-14-22



PROPOSED SECOND FLOOR PLAN 1/4" = 1'-0"

NOTE:
CONTRACTOR/BUILDER
SHALL FIELD VERIFY
ALL DIMENSIONS AND CONDITIONS
PRIOR TO CONSTRUCTION.

REVISED 4.14.22

BUILDING RENOVATION
GRIFFIN RESIDENCE

115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

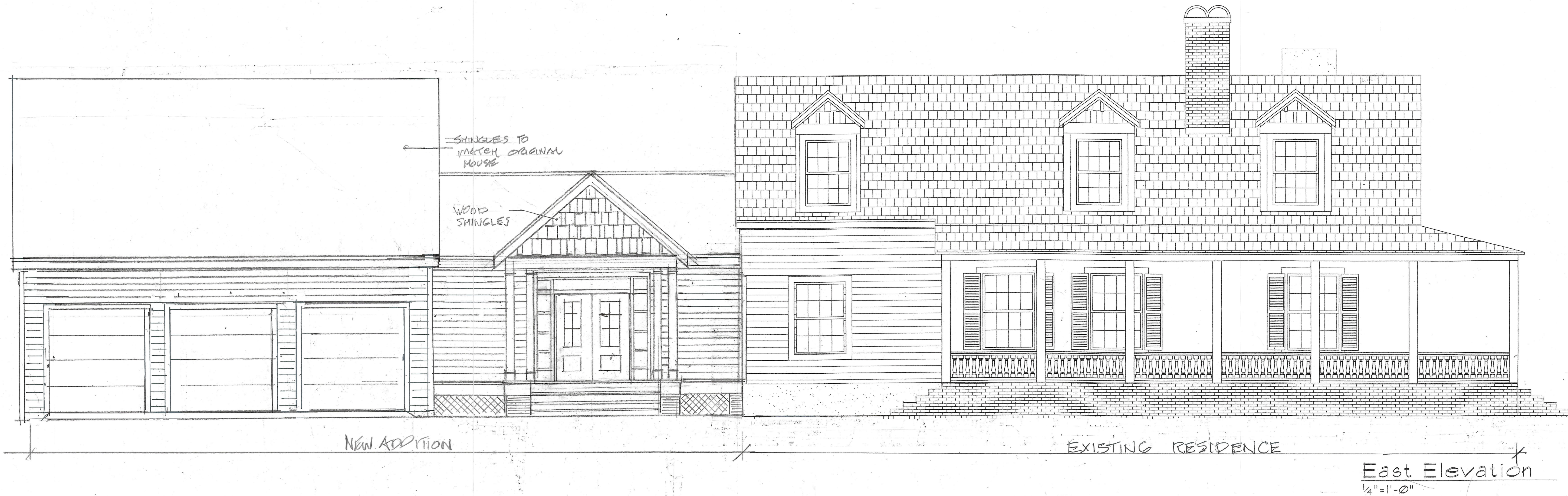
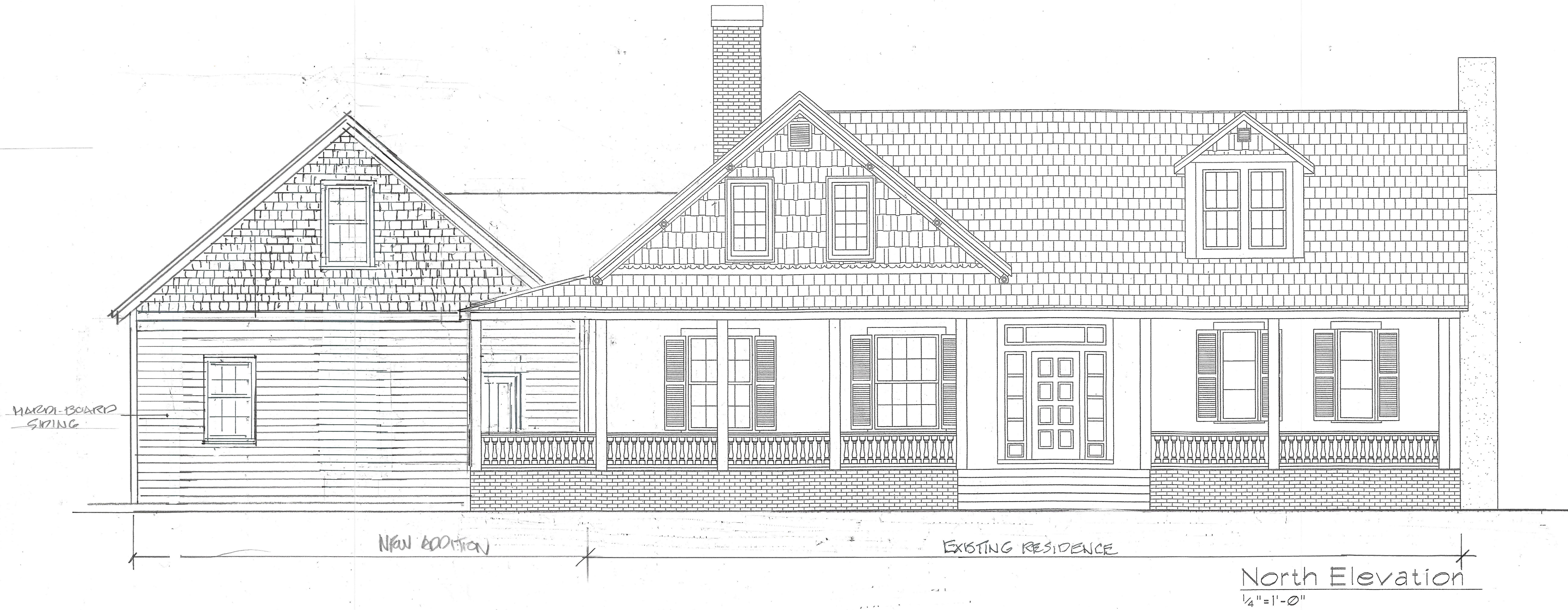
LES THOMAS
ARCHITECT

32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A8

PROPOSED ELEVATIONS



LES THOMAS
ARCHITECT

32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE

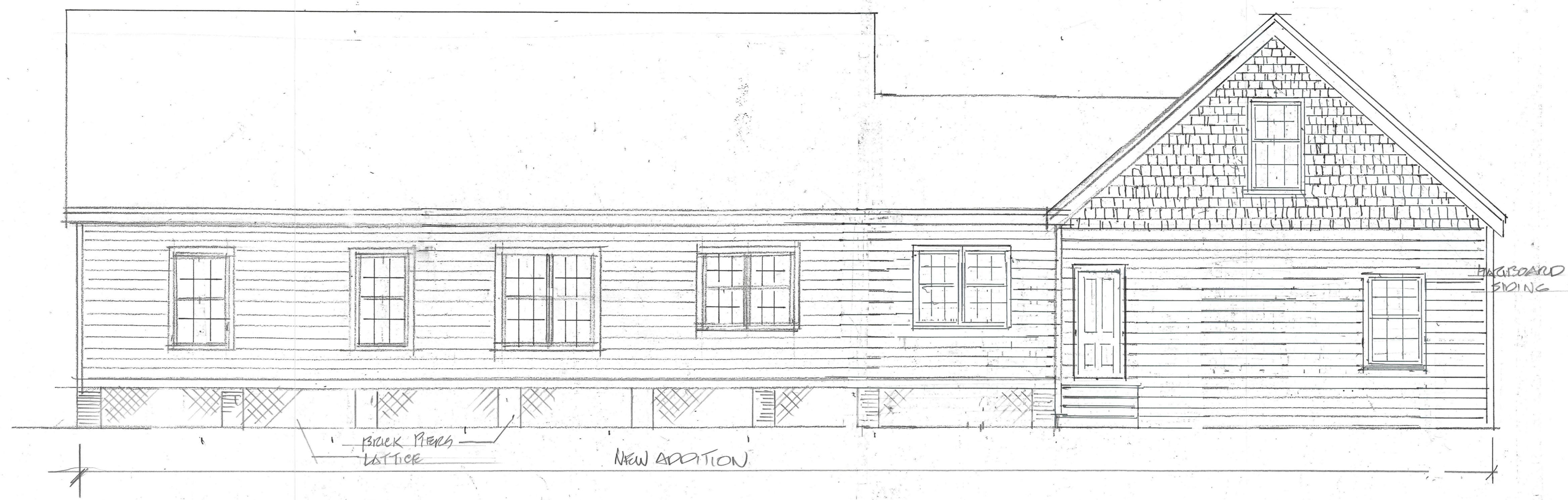
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET

A2

REVISED 4-14-22



South Elevation
1/4" = 1'-0"



WEST ELEVATION

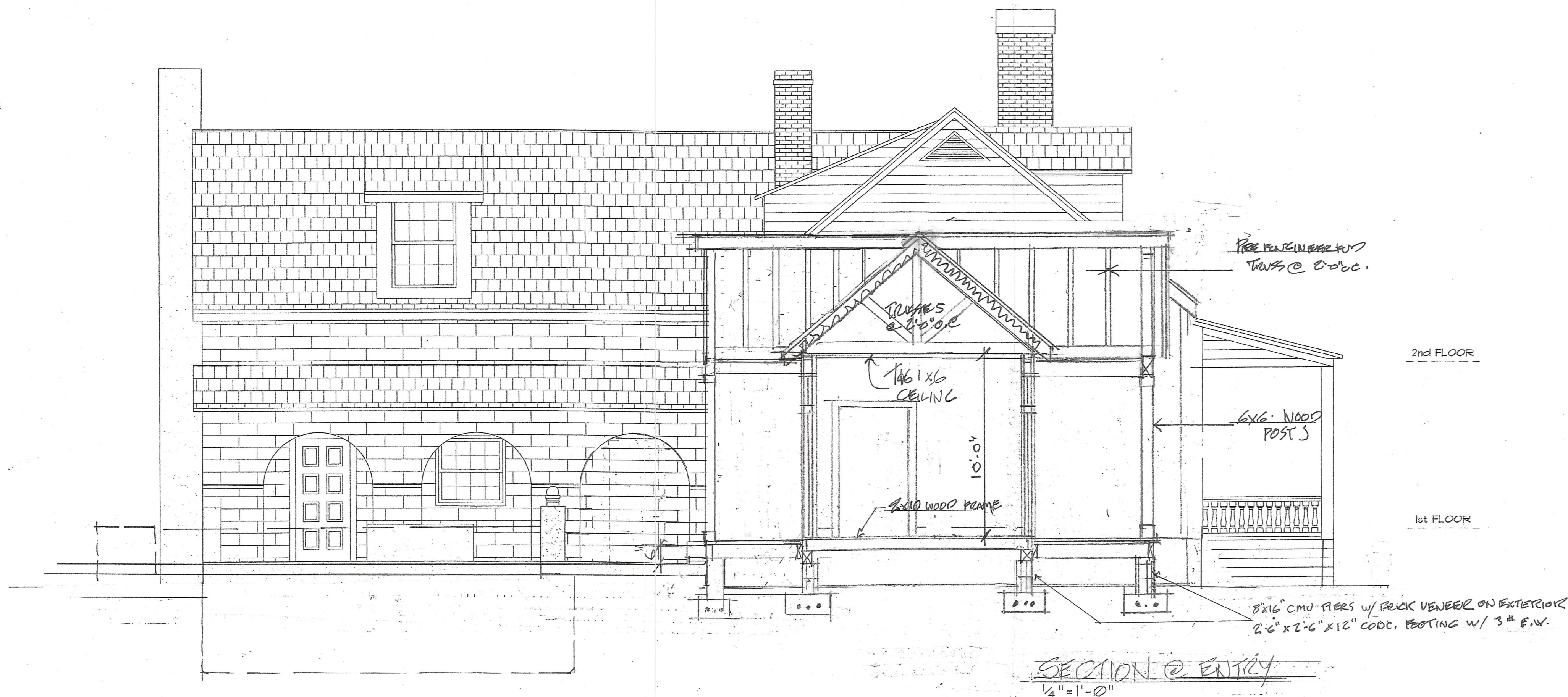
LES THOMAS
ARCHITECT
32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
GRIFFIN RESIDENCE
115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
Scale: AS NOTED
Drawn: MURPHY
File: GRIFFIN

SHEET
A-10

REVISED 4-14-22



SECTION @ ENTRY
 1/4" = 1'-0"



SECTION @ LIVING ROOM

LES THOMAS
 ARCHITECT

32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

BUILDING RENOVATION
 GRIFFIN RESIDENCE

115 BRIDGE STREET, ST. AUGUSTINE, FLORIDA

Date: 3-8-22
 Scale: AS NOTED
 Drawn: MURPHY
 File: GRIFFIN

SHEET
 A-11

REVISED 4-14-22



MASTER CRAFT WINDOW AND DOOR
 7 SAN BARTOLA
 ST AUGUSTINE, FL 32086

QUOTE BY : Charlie Wilde
 SOLD TO : JOHN VALDES AND ASSOCIATES
 JOHN VALDES

QUOTE # : JW220300YGR - Version 0
 SHIP TO : JOHN VALDES AND ASSOCIATES
 JOHN VALDES ASSOCIATES
 GRIFFIN RESIDENCE 115
 BRIDGE ST

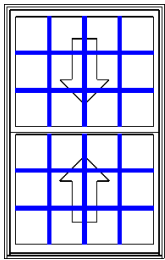
PO# : GRIFFIN
 Ship Via : Ground

PROJECT NAME : GRIFFIN RESIDENCE
 REFERENCE :

U-Factor Weighted Average: 0.32

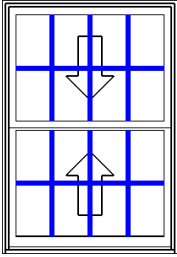
SHGC Weighted Average: 0.18

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	A WINDOWS	SWD4572			
	Rough Opening : 46 1/8 X 72 3/4	Frame Size : 45 3/8 X 72 Sitaline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, Florida - FBC, PG 50, FL# 17594.5 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, High Altitude, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 4 Wide 3 High Top, 4 Wide 3 High Btm, No Screen, IGThick=0.726(1/8 / 1/8), **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:41.6w, 32.4h, 9.3 sf U-Factor: 0.32, SHGC: 0.18, VLT: 0.42, Energy Rating: 10.00, CR: 56.00, CPD: JEL-N-885-01944-00001 PEV 2022.1.0.3766/PDV 6.538 (03/02/22)NW			
			\$1,841.90	6	\$11,051.40



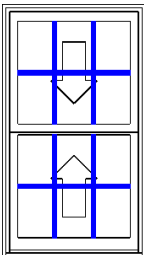
Viewed from Exterior. Scale: 1/2" = 1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 2	B WINDOWS Rough Opening : 42 1/8 X 60 3/4	SWD4160 Frame Size : 41 3/8 X 60 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, Florida - FBC, PG 50, FL# 17594.5 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, High Altitude, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 4 Wide 2 High Top, 4 Wide 2 High Btm, No Screen, IGThick=0.698(3/32 / 3/32), **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:37.6w, 26.4h, 6.9 sf U-Factor: 0.32, SHGC: 0.18, VLT: 0.42, Energy Rating: 10.00, CR: 56.00, CPD: JEL-N-885-01829-00001 PEV 2022.1.0.3766/PDV 6.538 (03/02/22)NW	\$1,419.00	6	\$8,514.00



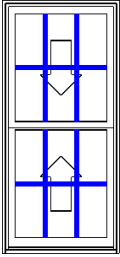
Viewed from Exterior. Scale: 1/2" = 1'

Line 3	C WINDOWS Rough Opening : 30 1/8 X 52 3/4	SWD2952 Frame Size : 29 3/8 X 52 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, Florida - FBC, PG 50, FL# 17594.6 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, High Altitude, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, No Screen, IGThick=0.698(3/32 / 3/32), **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:25.6w, 22.4h, 3.9 sf U-Factor: 0.32, SHGC: 0.18, VLT: 0.42, Energy Rating: 10.00, CR: 56.00, CPD: JEL-N-885-01829-00001 PEV 2022.1.0.3766/PDV 6.538 (03/02/22)NW	\$1,110.90	4	\$4,443.60
--------	----------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------	---	------------



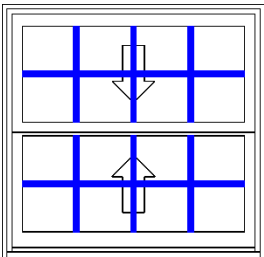
Viewed from Exterior. Scale: 1/2" = 1'

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 4	D WINDOWS Rough Opening : 30 1/8 X 64 3/4	SWD2964 Frame Size : 29 3/8 X 64 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, Florida - FBC, PG 50, FL# 17594.6 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, High Altitude, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, No Screen, IGThick=0.698(3/32 / 3/32), **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:25.6w, 28.4h, 5 sf U-Factor: 0.32, SHGC: 0.18, VLT: 0.42, Energy Rating: 10.00, CR: 56.00, CPD: JEL-N-885-01829-00001 PEV 2022.1.0.3766/PDV 6.538 (03/02/22)NW	\$1,176.88	2	\$2,353.76



Viewed from Exterior. Scale: 1/2" =1'

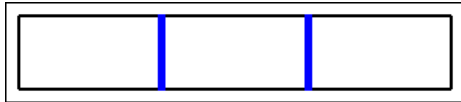
Line 5	E WINDOWS Rough Opening : 42 1/8 X 40 3/4	SWD4140 Frame Size : 41 3/8 X 40 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, Florida - FBC, PG 50, FL# 17594.5 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, High Altitude, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 4 Wide 2 High Top, 4 Wide 2 High Btm, No Screen, IGThick=0.698(3/32 / 3/32), **Screens on Wood Double Hung/Slide-By Units Without Trim Have No Method for Attachment. Clear Opening:37.6w, 16.4h, 4.2 sf U-Factor: 0.32, SHGC: 0.18, VLT: 0.42, Energy Rating: 10.00, CR: 56.00, CPD: JEL-N-885-01829-00001 PEV 2022.1.0.3766/PDV 6.538 (03/02/22)NW	\$1,258.37	5	\$6,291.85
--------	----------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------	---	------------



Viewed from Exterior. Scale: 1/2" =1'


Line 6		3068 6 PANEL FIR DOORS PREHUNG ON COMPOSITE JAMBD	\$920.00	3	\$2,760.00
--------	--	---------------------------------------------------	----------	---	------------

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 7		1068 5 LITE FIR SIDELITES			
			\$640.00	2	\$1,280.00
Line 8	TRANSOM Rough Opening : 65 3/4 X 14 3/4	Frame Size : 65 X 14 Siteline Wood Geometric, Auralast Pine, Direct Set Rectangle, Primed Exterior, Primed Interior, No Exterior Trim, No Sill Nosing, 4 9/16 Jamb, 4/4 Thick, Florida - FBC, PG 50, FL# 17498.7 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, High Altitude, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial 3 Wide 1 High IGThick=0.761(3/32 / 3/32), U-Factor: 0.30, SHGC: 0.22, VLT: 0.51, Energy Rating: 15.00, CR: 58.00, CPD: JEL-N-713-06862-00001 PEV 2022.1.0.3766/PDV 6.538 (03/02/22)NW			
			\$880.34	1	\$880.34
Line 9		INSTALLATION AND MATERIALS INCLUDING WATERPROOFING. EXTERIOR TRIM NOT INCLUDED			
			\$6,950.00	1	\$6,950.00



Viewed from Exterior. Scale: 1/2" = 1'

Total: \$44,524.95
SALES TAX (6.5000%): \$2,442.37
Net Total: \$46,967.32
Total Units: 30

 Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.

**Historic Preservation Property Tax Exemption Application
Part 3 – Request for Review of Completed work**

Upon completion of the restoration, rehabilitation or renovation, return this form with photographs of the completed work (views of site improvements, exterior and interior work for buildings) to the Division of Historical Resources or the Local Historic Preservation Office, as applicable. These photographs must provide a comprehensive description of the completed work. They should be the same views as the *before* photographs included in Part 2 of the application. Type or print clearly in black ink. The final recommendation of the Division of Historical Resources or the Local Historic Preservation Office, as applicable, with respect to the requested historic preservation property tax exemption is made on the basis of the descriptions in this Request for Review of Completed Work.

1. Property identification and location:

Property Identification Number: 206850000

Address of property: Street 115 Bridge Street

City St. Augustine County St. Johns Zip Code 32084

2. Data on restoration, rehabilitation, or renovation project:

Project starting date 05/15/2022 Project completion date: 04/23/2024

Estimated cost of entire project: \$ \$3,446,565

Estimated costs attributed solely to work on historic buildings or archaeological site: \$ \$2,243,698

3. Owner Attestation: I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in Part 2 of the Historic Preservation Property Tax Exemption Application (Application) submitted for this project. I attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and is consistent with the work described in Part 2 of the Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this Application and Request for Review of Completed Work (Request), I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in the Application and this Request. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this Application or Request is subject to criminal sanctions pursuant to the Laws of Florida.

Name Joe Griffin Signature  Date 5/15/24

Complete the following if signing for an organization or multiple owners (See next page for additional owners):

Title Owner Organization name Bridge Street Estates Inc.

Mailing Address 2800 N. 6th Street

City St. Augustine State FL Zip Code 32084

Daytime Telephone Number (602) 882-1979

Page Eleven – Request for Review of Completed Work

List Additional Owners:

Name _____

Street _____

City _____ State _____ Zip Code _____

Name _____

Street _____

City _____ State _____ Zip Code _____

Name _____

Street _____

City _____ State _____ Zip Code _____

If there are additional owners, provide the indicated information for each on a separate sheet of paper.

**REVIEW OF COMPLETED WORK
For Local Historic Preservation Office or Division Use Only**

Property Identification Number _____

Property Address _____

The () Local Historic Preservation Office () Division has reviewed Part 3 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- () Determines that the completed improvements to the property **are consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, **recommends approval** of the requested historic preservation tax exemption.
- () Determines that the completed improvements to the above referenced property **are not consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, **recommends denial** of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review Comments: _____

Page Twelve – Request for Review of Completed Work

Additional Review Comments attached? Yes No

Signature Julie E. Courtney

Typed or printed name Julie E. Courtney

Title Historic Preservation Officer

Date June 20, 2024

BEFORE THE
HISTORIC ARCHITECTURAL REVIEW BOARD FOR THE
CITY OF ST. AUGUSTINE, FLORIDA

TYPE OF REQUEST:

- | | |
|---------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Certificate of Completeness and |
| <input type="checkbox"/> Certificate of Demolition | Recommendation for Historic Property Tax |
| <input type="checkbox"/> Certificate of Relocation | Exemption |
| <input checked="" type="checkbox"/> Certificate of Appropriateness for
Preservation Approach for Ad Valorem
Tax Exemption | <input type="checkbox"/> Opinion of Appropriateness |

IN THE MATTER OF:

Case No.: HP2024-0028
Applicant: Paul L. Weaver, III
Owner: Bridge Street Estates Inc./Joe Griffin
Address: 115 Bridge Street
Parcel Number: 2068500000

Re: Certificate of Appropriateness, pursuant to Section 28-89, City of St. Augustine Code, To review part III of a Historic Preservation Ad Valorem Tax Exemption Application including completed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and contributing to the Lincolnville National Register Historic District.

THE HISTORIC ARCHITECTURAL REVIEW BOARD HAS HEARD TESTIMONY AND EXAMINED EVIDENCE AT A PUBLIC HEARING HELD ON THURSDAY, JUNE 20, 2024, AND BASED ON THE TESTIMONY AND EVIDENCE, THE BOARD HAS DETERMINED AS FOLLOWS:

FINDINGS OF FACT AND CONCLUSIONS OF LAW:

1. Applicant is the legal owner, occupant, and/or representative of the owner/occupant of the subject property and duly submitted an application with the owner's knowledge, and was duly notified of the hearing, in accordance with Chapter 28 of the Code of the City of St. Augustine. The applicant or representative was present at the Thursday, June 20, 2024, Historic Architectural Review Board meeting and testified under oath, or was not present.
2. A public hearing was held, with notice given as required by law, and members of the public testified under oath, or no members of the public spoke on this issue.
3. The subject property has a zoning classification of Residential Single-Family-Two (RS-2)
4. The above-described Certificate of Appropriateness is subject to Section 28-89 of the Code of the City of St. Augustine.

ORDER:

Based upon the evidence presented, the Historic Architectural Review Board determined that the requested action **MEETS / DOES NOT MEET** the requirements of Section 28-89, City of St. Augustine Code, and **APPROVES / DENIES / CONTINUES** the Applicant's request To review part III of a Historic Preservation Ad Valorem Tax Exemption Application including completed restoration and rehabilitation of existing architectural elements for a building constructed ca. 1800 that is recorded in the Florida Master Site File and contributing to the Lincolnville National Register Historic District.

Subject to the following conditions:

- meets SOIS for Rehabilitation
- Meets Dept. of State Standards
- Recommends Moving to CC.
- _____
- _____
- _____
- _____
- _____

DONE AND ORDERED, at a public hearing on the 20th day of June, A.D., 2024, in the Alcazar Room, 75 King Street, St. Augustine, Florida.

Case No. HP2024-0028

REQUEST **APPROVED / DENIED / CONTINUED**

[Signature]

Sign Name

Caere MacDonald

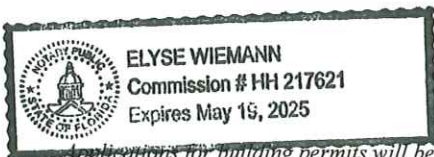
Print Name

HISTORIC ARCHITECTURAL REVIEW BOARD
CITY OF ST. AUGUSTINE, FLORIDA

STATE OF FLORIDA, COUNTY OF ST. JOHNS

I HEREBY CERTIFY that on this day, personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, Caere MacDonald, by means of physical presence or online notarization, who is personally known to me and who is the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same for the purposes therein expressed.

Witness my hand and official seal, this 20th day of June, A.D., 2024.



Elyse Wiemann
Notary Public, State of Florida

Applications for building permits will be required and must be submitted electronically with formalized digital signature. HARB documents are not accepted for issuance of a building permit and must meet all city standards prior to issuance.

HISTORIC PRESERVATION PROPERTY TAX EXEMPTION COVENANT

This Covenant is made the 3rd day of September 2024, by Bridge Estates LLC (hereinafter referred to as the Owner) and in favor of St. Johns County (hereinafter referred to as the Local Government) for the purpose of the restoration, renovation or rehabilitation of a certain Property located at 115 Bridge Street, St. Augustine, FL 32084, a contributing structure to the Lincolnville National Register Historic District, which is owned in fee simple by the Owner and is listed in the National Register of Historic Places or locally designated under the terms of a local preservation ordinance or is a contributing property to a National Register listed district or a contributing property to a historic district under the terms of a local preservation ordinance. The areas of significance of this property, as identified in the National Register nomination or local designation report for the property or the district in which it is located, are (√) architecture, (√) history, () archaeology.

The Property is comprised essentially of grounds, collateral, appurtenances, and improvements. The property is more particularly described as follows (include city reference, consisting of repository, book, and page numbers): PID: 206850-0000 DUMAS TRACT CITY PT OF LOT 1 ALL LOT 2 PT OF LOT 3 LOT 4(EX S75FT) & PT OF LOT 5 BLK C (EX OR1030/631 & OR1059/1146) OR5609/1492.

In consideration of the tax exemption granted by the Local Government, the Owner hereby agrees to the following for the period of the tax exemption which is from January 1, 2025 to December 31, 2034:

1. The Owner agrees to assume the cost of the continued maintenance and repair of said Property so as to preserve the architectural, historical, or archaeological integrity of the same in order to protect and enhance those qualities that made the Property eligible for listing in the National Register of Historic Places or designation under the provisions of the local preservation ordinance.

2. The Owner agrees that no visual or structural alterations will be made to the Property without prior written permission of the () Division of Historical Resources (√) Local Historic Preservation Office.

The address of the certified Local Historic Preservation Office, if one exists in the jurisdiction, is:

Name of Office/Agency: City of St. Augustine - Historic Preservation Division

Address: PO Box 210, 75 King Street

City: St. Augustine Zip: 32085

Telephone: 904.209.4283

The address of the Division of Historical Resources is:

Bureau of Historic Preservation

Division of Historical Resources

R. A. Gray Building, 500 South Bronough Street

Tallahassee, Florida 32399-0250

Telephone Number: (850) 245-6333 or (800) 847-PAST (7278)

3. *[Only for properties of archaeological significance]* The Owner agrees to ensure the protection of the site against willful damage or vandalism. Nothing in this Covenant shall prohibit the Owner from developing the site in such a manner that will not threaten or damage the archaeological resource, provided that permission for alteration of the site is obtained pursuant to 2. above.

4. The Owner agrees that the () Division of Historical Resources (√) Local Historic Preservation Office and appropriate representatives of the Local Government, their agents and designees shall have the right to inspect the Property at all reasonable times in order to ascertain whether or not the conditions of this Covenant are being observed.

5. In the event of the non-performance or violation of the maintenance provision of this Covenant by the Owner or any successor-in-interest during the term of the Covenant, the () Division of Historical Resources (√) Local Historic Preservation Office will report such violation to the Property Appraiser and Tax Collector who shall take action pursuant to s. 196.1997 (7), F.S. The Owner shall be required to pay the difference between the total amount of taxes which would have been due in March in each of the previous years in which the Covenant was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in s. 212.12 (3), F.S.

6. If the Property is damaged by accidental or natural causes during the Covenant period, the Owner will inform the () Division of Historical Resources (√) Local Historic Preservation Office in writing of the damage to the Property, including (1) an assessment of the nature and extent of the damage; and (2) an estimate of the cost of restoration or reconstruction work necessary to return the Property to the condition existing at the time of project completion. In order to maintain the tax exemption, the Owner shall complete the restoration or reconstruction work necessary to return the Property to the condition existing at the time of project completion on a time schedule agreed upon by the Owner and the () Division of Historical Resources (√) Local Historic Preservation Office.

7. If the Property has been destroyed or severely damaged by accidental or natural causes, that is, if the historical integrity of the features, materials, appearance, workmanship, and environment, or archaeological integrity which made the property eligible for listing in the National Register of Historic Places or designation under the terms of the local preservation ordinance have been lost or so damaged that restoration is not feasible, the Owner will notify the () Division of Historical Resources (√) Local Historic Preservation Office in writing of the loss. The () Division of Historical Resources (√) Local Historic Preservation Office will evaluate the information provided and notify the Owner in writing of its determination regarding removal of the Property from eligibility for tax exemption. If the

() Division of Historical Resources (√) Local Historic Preservation Office determines that the property should be removed from eligibility for tax exemption, it will notify the Property Appraiser of the county in which the Property is located in writing so that the tax exemption can be canceled for the remainder of the Covenant period. In such cases, no penalty or interest shall be assessed against the Owner.

8. If it appears that the historical integrity of the features, materials, appearance, workmanship, and environment, or archaeological integrity which made the Property eligible for listing in the National Register of Historic Places or designation under the terms of the local preservation ordinance have been lost or damaged deliberately or through gross negligence of the Owner, the () Division of Historical Resources (√) Local Historic Preservation Office shall notify the Owner in writing. For the purpose of this Covenant, “gross negligence” means the omission of care, which even inattentive and thoughtless persons never fail to take of their own property. The Owner shall have 30 days to respond indicating any circumstances which show that the damage was not deliberate or due to gross negligence. If the Owner cannot show such circumstances, he shall develop a plan for restoration of the Property and a schedule for completion of the restoration. In order to maintain the tax exemption, the Owner shall complete the restoration work necessary to return the Property to the condition existing at the time of project completion on a time schedule agreed upon by the Owner and the () Division of Historical Resources (√) Local Historic Preservation Office. If the Owner does not complete the restoration work on the agreed upon time schedule, the () Division of Historical Resources (√) Local Historic Preservation Office will report such violation to the Property Appraiser and Tax Collector who shall take action pursuant to s. 196.1997 (7), F.S. The Owner shall be required to pay the differences between the total amount of taxes which would have been due in March in each of the previous years in which the Covenant was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in s. 212.12 (3), F.S.

9. The terms of this Covenant shall be binding on the current Property owner, transferees, and their heirs, successors, or assigns.

This Covenant shall be enforceable in specific performance by a court of competent jurisdiction.

OWNER

_____	_____	_____
Name	Signature	Date

LOCAL GOVERNMENT: _____

_____	_____	_____
Name of Authorized Local Official	Signature	Date

Title